

Lakeville

Minnesota

2015 Parks, Trails & Open Space Plan



Parks, Trails & Open Space Plan

Executive Summary

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Executive Summary

Intent

The Lakeville Comprehensive Parks, Trails, & Open Space Plan sets forth a vision of a fully developed park, trail and open space system, primarily focused on recreational opportunities and natural resources. Chapter One explains how this vision is founded upon community characteristics, an assessment of existing facilities and the projected needs of the City for on-going development through 2030. The Park, Trail and Open Space Plan's objective is to propose logical physical improvements to new and existing facilities in order to maintain the system as a significant community asset that contributes positively to the quality of life and character of the City of Lakeville. This document builds upon the park, trail and recreation goals established as part of the City's Comprehensive Plan by updating detailed policies and strategies established to guide recreational development through the year 2030.

Existing Recreation Facilities

The City of Lakeville is serviced by a variety of recreational facilities provided by the city, regional government, school districts and private enterprise. In addition, the community has limited benefits from abutting communities whose facilities may service Lakeville's residents. Chapter Three summarizes these existing parks, trails and open space facilities and the resources currently available to Lakeville residents.

Lakeville's park system is comprised of a variety of sites & facilities which conform to a classification hierarchy according to their use, size and facility development. Park classification assists in providing a comprehensive system which responds to the community's needs, its land-use patterns and densities and the area's physical characteristics. It is a tool to assist Lakeville's decision-makers in determining park locations, sizes and functions. Specific standards and criteria are recommended for each park class, however, compromises may be required as dictated by local circumstances. The classification of park types in Lakeville includes: Community Parks, Community Playfield/Athletic Complex, Neighborhood Parks, Tot Lots/Mini-Parks, Greenways/Linear Parks, Conservation Areas and Special Use Facilities.

Issues & Opportunities

Lakeville's Parks, Trails and Open Space Plan is an important tool in maintaining the community's quality of life. On-going land development will diminish available open space within the urbanized area. Chapter Four explains why the City must continue with park and open space acquisition in anticipation of development and concurrent with the development process in implementing the Parks, Trails and Open Space Plan. Lakeville must plan and prepare for the next twenty-five years today to preserve its future open space options. Specific measures are needed that preserve, promote and enhance its natural characteristics. The continued implementation of greenways planning is intended to focus on the preservation and protection of the City's valuable environmentally sensitive areas.

Athletic associations continue to experience significant growth in their organized sport programs. This growth has resulted in expanded league play and extended seasons placing greater burden on City playfields. The projected growth trends for the City, as well as the individual sports leagues, indicate a growing need for more playfields as well as a desire for indoor practice facilities.

Given the increased participation in youth sports programs by children who live outside of the City limits, the City should pursue a more equitable relationship with the adjoining townships through the promotion for the development of township parks or increase non-resident fees for Lakeville's recreational programs. The use of school district facilities paid for by Lakeville and non-Lakeville residents utilizing these facilities contribute to the community's overall park system and help off-set the impact of non-residents participating in Lakeville's recreation programs.

The Parks and Recreation Department can encourage greater use of parks and trails through outreach programs including implementation of a bike rental program, using technology as part of visiting park facilities in a 21st century version of a medallion hunt or community scavenger hunt identifying significant landmarks within park areas. Furthermore, there is opportunity to identify specialized facilities within existing and planned parks that provide for community attraction and create interest in the parks as destinations. Examples of such facilities may include a dog park, fitness challenge park, amphitheater or splash pad water amenities.

The greenways within the trail system continue to become a primary focus of the parks and trail system to connect facilities and provide passive open space recreation oriented to Lakeville's changing demographics. Since the completion of the trail system is development driven with trail segments constructed with new subdivisions, some incomplete trail corridors and dead-end trails may exist for an interim period. The completion or extension of the existing incomplete trails is seen as a priority to provide for circulation and connection throughout the Parks and Trails system and to provide for safe routes to schools and other destinations. The North Creek Greenway Regional Trail and the Lake Marion Greenway Regional Trail are specifically identified as priority areas for the Lakeville trail system.

Analysis & Recommendations

Chapter Five provides analysis of future park, trail and open space needs along with recommendations for addressing these needs. It applies the park, trail and open space classification standards and policies outlined in previous chapters of this plan to the growth and land use expectations identified in the Lakeville 2008 Comprehensive Plan. In analyzing future facility needs through 2030, consideration was given to the following factors:

- Comparison of growth against national park standards
- Continued integration of school facilities within the Lakeville park and trail system to avoid duplicate investment in park and recreation facilities
- On-going development and upgrade in the trail system to improve access to City parks and expand the service areas of existing or planned facilities
- Integration of the analysis of park demands with the Comprehensive Land Use Plan to identify park, trail and open space needs based on future land use, population growth and distribution, transportation planning, MUSA staging, and environmental protection.

The City of Lakeville has approximately 1,688.39 acres of park land. This figure is comprised of six community parks (543.3 acres), five community playfields (197.0 acres), 35 neighborhood and mini-parks (351.1 acres), ten special use parks (35.2 acres), and 28 greenways/conservancy areas (561.9 acres). Recommendations have been made herein for future active area needs using this data and the number of existing active acres in Lakeville's parks and school sites.

Chapter Five also specifies detailed improvements for each park classification type and encourages the creation of greenways as a means of protecting the community's natural resources and preserving open space. Greenways are intended to be a combination of linear parks and conservancy areas and they have been incorporated into 2030 Park and Trail System Plans wherever appropriate. The greenways proposed follow corridors characterized by tributaries, drainageways, wetlands, floodplains, hydric soils and wooded areas. The linear design is intended to integrate greenways with the balance of the park and trail system as well as the 2020 Land Use Plan.

The 2014 Parks, Trails and Open Space Plan implements a new classification system for trails to allow differentiating the trail types by function related to recreation and transportation functions. These new classifications, when color coded on a map, helps users as well as the Parks, Recreation and Natural Resources Committee and the City Council to view the interrelated functions of the trails together with park facilities, greenway corridors and school locations to outline priorities for development and avoid duplicative routes for greater efficiency and lower long-term maintenance costs.

The development and implementation of the parks and trails system must be realized over time, concurrent with development and available resources for facility construction, operation and maintenance.

Parks, Recreation and Natural Resources Committee

On November 12, 2014 the City of Lakeville Parks, Recreation and Natural Resources Committee and the Lakeville City Council held a work session for purposes of conducting a joint review of the 2014 Park, Trail and Open Space Plan Update. The Parks, Recreation and Natural Resource Committee acts as an advisor to the City Council to assist in implementing the Parks, Trails and Open Space System Plan and to represent the citizens of Lakeville. The Parks, Recreation and Natural Resources Advisory Committee contributes greatly to the success of the community parks and trails system through their review of site specific projects and development recommendations.

Goals of Present City Leaders

The Park, Trail and Open Space Plan's goals define the City's parks today and help to plan for improvements and additions to the park and trail system in the future. While the Plan's objective remains unchanged, social changes in the community have affected the way the park and trail system is utilized. This has prompted the City to refocus its efforts and highlight the following aspects of park and trail development in coming years:

- Greenways and trails to destination locations within the system are emerging as more of a focus than individual parks within each neighborhood.
- Refocus park development on broader, community-wide parks and define how to serve residents as the neighborhoods age and their needs change.
- As current neighborhood parks need to be refurbished, City staff and the Parks, Recreation and Natural Resources committee will analyze the demographics of the neighborhood prior to making expenditure recommendations.
- The City Council and Parks, Recreation and Natural Resources Committee believe that there is a need for destination parks such as a dog park, skate park, splash pad, etc. so that residents don't need to travel outside of our community; locate areas for destination parks.

- Finite resources may be more efficiently used to support destination parks with specialized equipment or natural areas, although there could still be a need for neighborhood parks in some areas.
- Develop linear parks in the form of greenways along trails that will create recreation opportunities.
- A park system should serve all ages which would give everyone a sense of ownership.
- New park development and redevelopment of existing parks should be tailored to the region within which it is located rather than being too generic. Current practices seem to conflict with that statement.
- There needs to be a focus on keeping park use consistent and keeping the younger generation engaged and interested enough to get out into the parks.
- Partner with the schools, seek out corporate sponsorship, and work with developers to define property owner's needs and preferences.
- Create multi-generational parks, beginning with the conceptual design, that contain amenities to serve several age groups.
- Develop guidelines to follow as parks are redeveloped or refurbished, when neighborhoods age and as demographics change.

As the Park, Trail and Open Space Plan has developed, focus has been on how to do things differently to improve not only planning and development methods, but user experiences. The Plan also takes sustainability and maintenance into account with a huge focus on system, monetary and natural resources. Parks and trails are one of the biggest assets in the City and are a very high priority for residents and developers, making it very important to be creative with resources.

Chapter One

Planning History

Introduction

The quality park and trail systems which exist in Lakeville today are representative of past planning efforts. The initial Lakeville Park System Plan was completed in 1970 and updated four different times through the year 2000. These plans inventoried existing park facilities and assessed the needs of different park types based upon future growth as it was then projected. The Lakeville Trails System Plan was prepared in 1987 and updated in 1992. This plan identified future pedestrian and bicycle trail corridors, and outlined policies for their design, acquisition, development, upgrade and maintenance.

In 2000, these two documents were joined to create a Comprehensive Parks, Trails & Open Space System Plan for purposes of guiding the City in recreational facility planning through 2020. The most recent update of this document occurred in 2006 and has continued Lakeville's proactive implementation of these planning tools. The City has established a high-quality, comprehensive network of recreational spaces that contribute to the quality of life within the community as well as to the community's overall identity.

Purpose of the Plan

The City initiated the third update of the Lakeville Parks, Trails and Open Space Plan in 2012 to again inventory and reassess park, trail and open space needs. This effort is undertaken within the context of the policy framework established by past plans described above. The process for completing the update of the Lakeville Parks, Trails and Open Space plan was tabled in late 2012 to allow for the Envision Lakeville community visioning project to be undertaken and to have a separate opportunity to provide valuable additional community input into planning for the continued development and maintenance of the parks and trails system in Lakeville.

A primary focus of what is to be the 2014 Lakeville Parks, Trails and Open Space Plan is to highlight the use of Greenway Corridors, review the existing trail classification system to develop a new approach that is easier to use and update the City's trail-sidewalk policies. The 2014 Plan also contains the results of an in-depth study of park and trail dedication standards as they relate to the economic downturn in recent years, associated decreased property values and a new formula for determining fair market value.

Goals of the Plan

The Lakeville Comprehensive Parks, Trails, & Open Space Plan sets forth a vision of a fully developed park, trail and open space system, primarily focused on recreational opportunities and natural resources. This vision is founded upon community characteristics, an assessment of existing facilities and the projected needs of the City for on-going development through 2030. The Park, Trail and Open Space Plan's objective is to propose logical physical improvements to new and existing facilities in order to maintain the system as a significant community asset that contributes positively to the quality of life and character of the City of Lakeville.

In 2008, the City of Lakeville completed an update of its Comprehensive Plan. The 2008 Comprehensive Land Use Plan establishes a framework and policies that guide continued community growth in an orderly and efficient manner through the year 2030 based on the Metropolitan Council's Regional Development Framework. In accommodating continued development of the City, the current Comprehensive Plan contains many goals specific to the City's Park, Trail and Open Space Plan, which benefit and promote natural resources, active living, community facilities, recreational uses, and trails/greenways as transportation. This document builds upon these overall goals with detailed policies and plans established to guide recreational development through the year 2030.

Planning Process

As in 2006, the planning process for preparation of this Parks, Trails & Open Space Plan has involved several steps. First, background information was assembled on Lakeville's development history, physical character, demographics, as well as the future land use and development objectives identified in the City's 2008 Comprehensive Land Use Plan (as amended). This information will serve as the base for subsequent steps in the planning process.

Second, an inventory of all existing parks, trails and recreational resources was provided by the City's Park & Recreation Department. The purpose of the inventory was to identify and analyze the City's existing park, trail and open space facilities.

The goals and policies sections of this plan were taken from the 2006 plan and updated to respond to the issues and system needs anticipated for the next twenty-five years. This includes changes to the trail, greenway and sidewalk objectives as well as incorporation of many Dakota County policies relative to collaborative greenways and joint recreational goals.

The next step in the Lakeville parks, trails, and open space process was a comprehensive review of the existing system analysis and plan recommendations by the Parks, Recreation and Natural Resources Committee. Through this step, the City's existing parks and trails system was evaluated against both national recreational standards and the City system policies as a means of identifying future system deficiencies.

Recommendations were formulated to be consistent with the stated policies to respond to deficiencies identified through the system analysis as well as recreation issues identified in Chapter 4 of this report. The result is the formulation of this 2014 Parks, Trails and Open Space System Plan to guide Lakeville through the year 2030.

Prior to formal consideration of the Parks, Trails and Open Space Plan by the Lakeville Planning Commission and City Council for adoption as part of the City's Comprehensive Plan, draft documents were forwarded to adjacent government jurisdictions and interested organizations for comments. A public open house was also held during the summer of 2014 to encourage resident input as part of the planning process.

Chapter Two

Land Use Development Pattern

Community Characteristics

Lakeville is located in the southern-most portion of the Minneapolis-St. Paul Metropolitan Area, along the western border of Dakota County. Convenient access to the southern metropolitan area via I-35W and I-35E has been stimulating rapid development of Lakeville's residential and commercial areas. In prior years, Lakeville was seen as a freestanding growth center serving the surrounding towns and agricultural activities. However, close proximity to first and second ring suburbs gradually attracted diverse community development including residential subdivisions, the Airlake Industrial Park and commercial businesses tying Lakeville into the larger Twin Cities Metropolitan Urban Area.

Appendix A provides a detailed analysis of community characteristics, shown as a series of tables, which provide information on land use development, the natural environment and socioeconomic profile of Lakeville residents. The following paragraphs summarize this data that provides the base from which parks and trails are planned and developed.

Land Use Characteristics

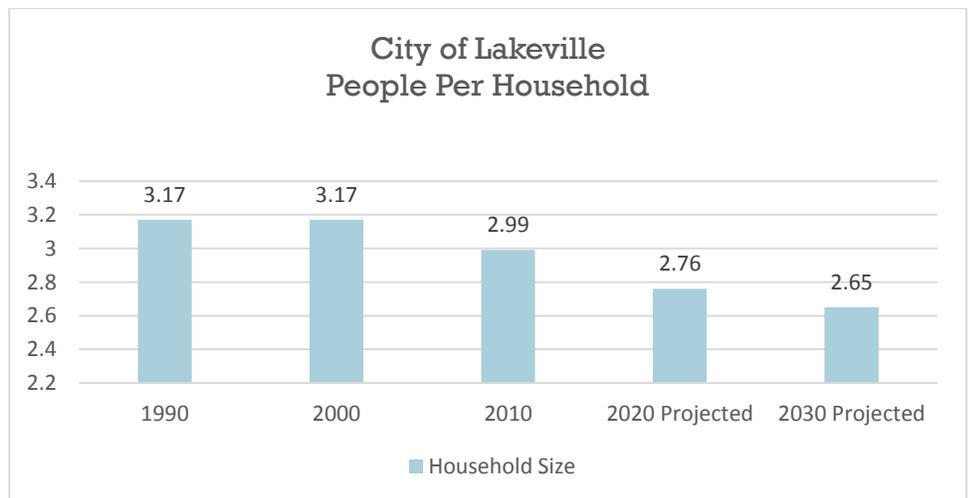
- Lakeville is an outer ring suburb of the Twin Cities which continues to be at the edge of the predominately rural and predominately urban service areas.
- Lakeville contains approximately 24,180 total acres; more than half of those acres, about 17,300 acres, are within the Metropolitan Urban Service Area (MUSA).
- About 9,600 acres still lie undeveloped within the City limits, with about 2,500 located within the existing MUSA. Changes to the MUSA boundaries, urban reserve, and expansion areas have been insignificant since 2008.
- While the City will continue to promote infill development of the existing MUSA prior to allowing expanded urban development, the search for future park and trail areas should be inclusive of all land within the City limits.
- Land use development is expected to progress into urban reserve areas sometime between 2020 and 2030.

Land Use Characteristics, continued

- Land uses grew consistently as a percent of total MUSA area through the early 2000's, but development has slowed considerably as evidenced by the significantly decreased number of building permits issued per year over the last decade.
- As the City continues to evolve and attract more developed urban uses toward 2030, population densities will continue to increase and will include a more diverse population.
- Since completion of the last Parks, Trails and Open Space Plan six years ago, about 408 net acres have been developed as residential land uses of varying densities. This has added 1,259 housing units and an estimated 3,764 people to the City's population.
- It is projected that in the year 2030, low density residential development will continue to be the predominant land use type and will account for 27 percent of the land area within the City. The need for neighborhood parks and trails/greenways which connect neighborhoods to one another and to the rest of the community will remain a top priority.
- The differences between land uses planned for 2020 and 2030 are few. The greatest increase is shown as low to medium density residential and office/light industrial uses.

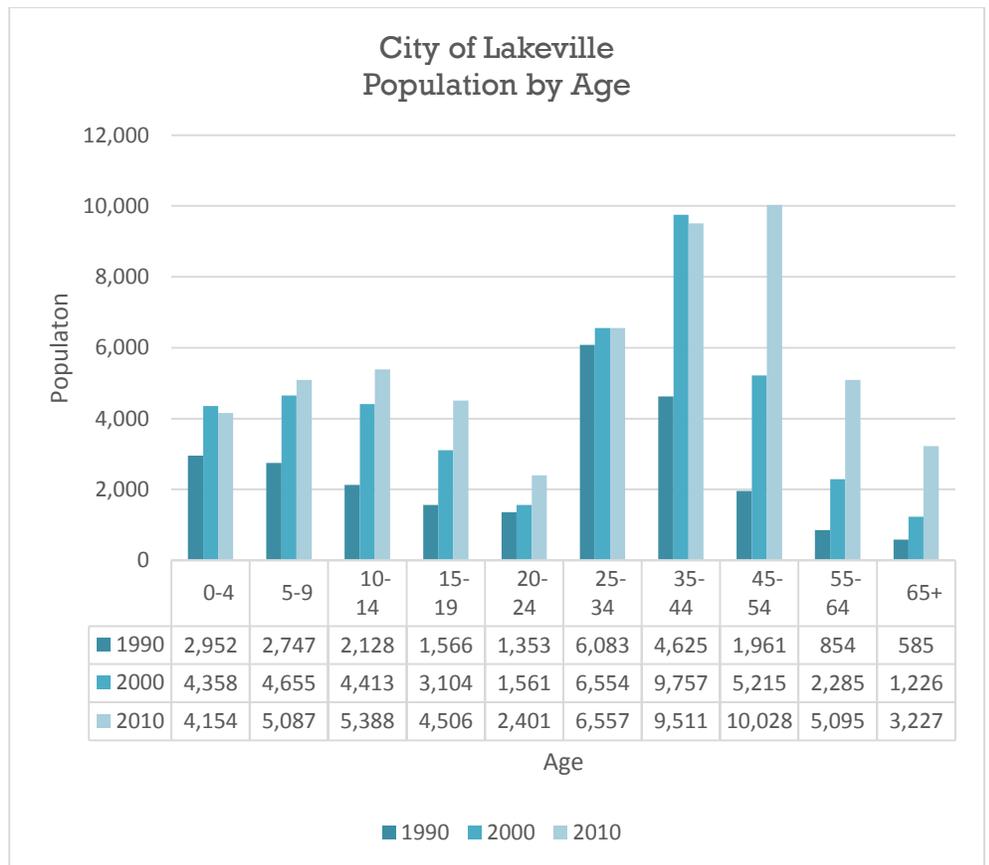
Household Characteristics

- The household size has been steadily decreasing since 1990 when it was 3.17 persons to 2.99 persons in 2010. This is due to the aging population and families having fewer children.



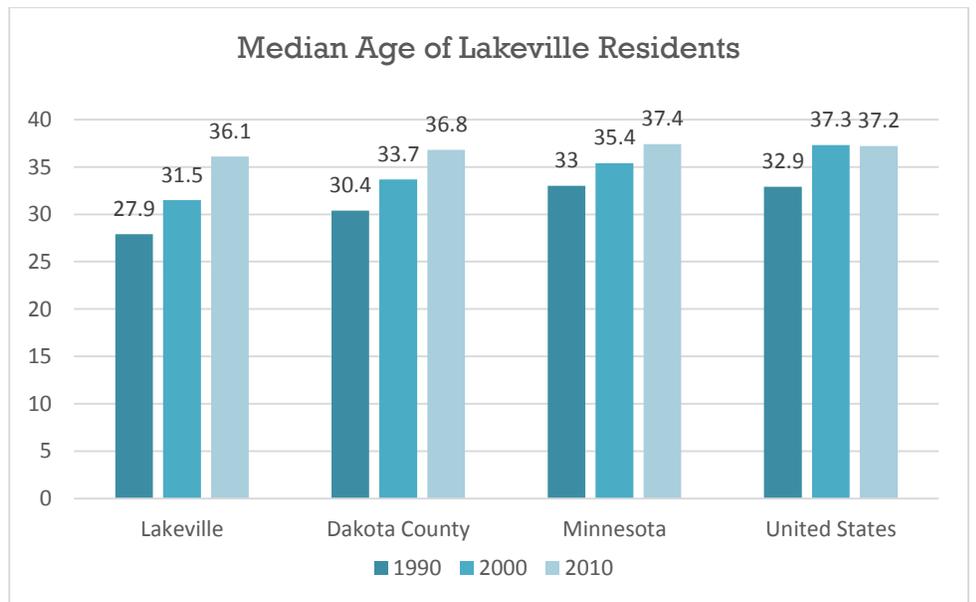
Population Characteristics

- The total number of households grew by 73% between 1990 and 2000, while the number of households grew by only 37% between 2000 and 2010.
- As of 2010, the number of non-traditional and non-family households had increased to 19% of the total households in the City.
- The number of households with children has dropped from 68% in 1990 to 60% in 2010.
- The population of Lakeville in 2010 was 55,954, up from 52,323 in 2006 and up from 43,128 in 2000. The percent of population growth from 2000 to 2010 was 29.7%, as compared to 73.5% the previous decade.
- Though families overall are decreasing in size, young families with children and those planning families continue to migrate to Lakeville and a continued need exists for family recreational programs and facilities.



Age Distribution Characteristics

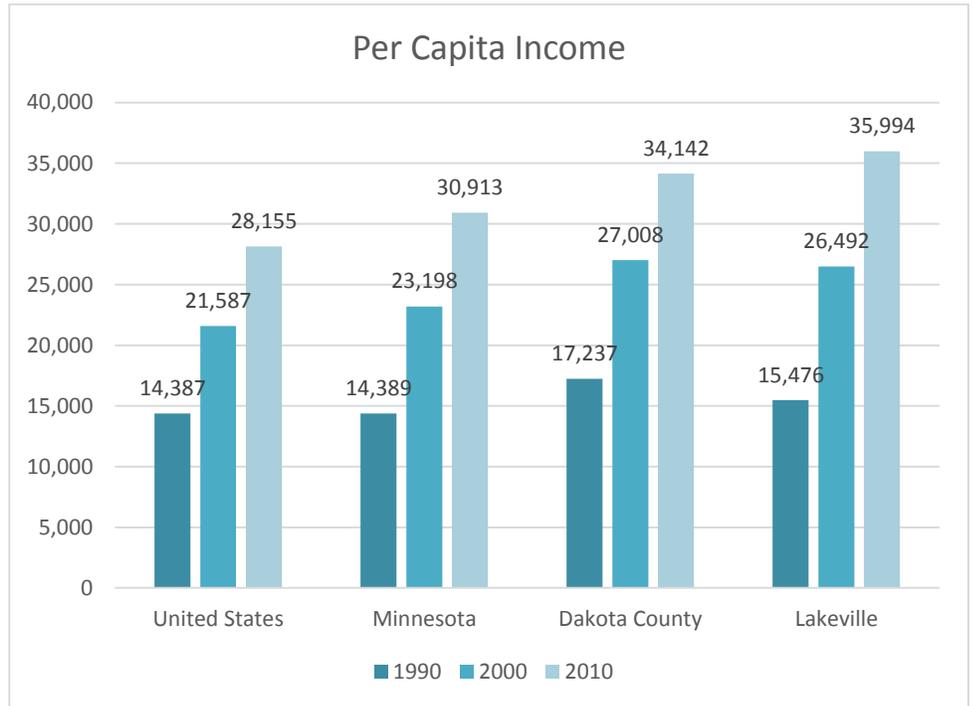
- The community’s age profiles are dominated by children and adolescents and by adults age 40 and older.
- The age group 25-34 has remained nearly constant over the last 20 years, while all four age groups with persons 35 and over have doubled in number during the last two decades.
- People 19 and under grew slightly from 2000 to 2010, but only about half as much as growth seen in the previous decade.
- The percent of all people 20 or older was 63.92% in 2000 and 68.19% in 2010, another indicator that the population in the City is aging.
- As current residents mature, the population will require recreational programs and facilities for all ages.
- Lakeville is lower in senior population compared to Dakota County and the Metro Area, but not as noticeably as in past decades. As the City matures, its age profile will likely become more consistent with the remainder of Dakota County and ultimately, the Metropolitan Area.



- The 1990 Census showed a median age of 27.9 in the City, while the census indicated a median age of 31.5 in the year 2000 and 36.10 in 2010. The change in median age illustrates the gradual maturation of the City’s population that will continue through 2020 and beyond.

Income

- The median age of Lakeville residents continues to rise, consistent with the county, state and nation.
- Lakeville’s projected growth through the next decade will still be primarily comprised of young families, however, as the children grow and families age, their recreational needs may change.
- Per capita income in Lakeville remains higher than that of the national average, and the margins of ascendancy have grown.
- Per capita income in Lakeville documented in the census’ of 1990 and 2000 has been similar but slightly lower than that of persons in Dakota County, although has risen slightly to surpass Dakota County in the last decade.



School Enrollment Characteristics

- Most of Lakeville is served by the Lakeville School District.
- Lakeville ISD class sizes have steadily decreased in the last five years, with the exception of grades 9-12 which have grown slightly from 3,595 to 3,713.
- The need for additional school sites and school-related recreational fields will not be necessary, although the on-going maintenance and possible need to upgrade existing facilities may affect the neighborhood park planning.
- Farmington ISD Pre-K, K and 9-12 class sizes have continued to increase steadily over the last five years, while growth of elementary and middle school groups has slowed somewhat.
- Rosemount ISD continues to see declines in grades 6-8 and 9-12, but has experienced slight growth in elementary-aged children.

Natural Environment

- Lakeville's natural environment is quite diverse, ranging from relatively flat farm fields to significantly undulating hills around the lakes, with many wetlands and drainage ways throughout.
- The City has been successful in protecting many environmentally sensitive areas in the community through the creation of greenways along North Creek, South Creek and Juno Trail.
- The greenways serve to preserve open space and buffer the effects of storm water runoff before it enters drainage basins.
- Since completion of the City's 1998 Comprehensive Plan, it has been the intent of city leaders to establish additional greenways along other tributaries, drainage ways, and wetlands which have been designated on the following map.

Chapter Three

Inventory of Parks, Trails, Open Spaces & Regional Recreational Facilities

The City of Lakeville is serviced by a variety of recreational facilities provided by the city, regional government, school districts and private enterprise. In addition, the community has limited benefits from abutting communities whose facilities may service Lakeville’s residents. This chapter summarizes these existing parks, trails and open space facilities and the resources currently available to Lakeville residents.

Park Classification System

Lakeville’s park system is comprised of a variety of sites & facilities which conform to a classification hierarchy according to their use, size and facility development. Park classification assists in providing a comprehensive system which responds to the community’s needs, its land-use patterns and densities and the area’s physical characteristics.

The classification system is based upon nationally recognized park types taken from the National Recreation and Park Association with modifications made for local conditions and Lakeville’s specific needs. It is a tool to assist Lakeville’s decision-makers in determining park locations, sizes and functions. Specific standards and criteria are recommended for each park class, however, compromises may be required as dictated by local circumstances.

Park Types

Community Parks

Community Playfield / Athletic Complex

Neighborhood Parks

Mini-Parks / Neighborhood Playgrounds

Greenways / Linear Parks

Conservation Areas

Special Use Parks / Facilities

Historic Sites

Community Parks

Description	Community parks are large, destination-oriented facilities which offer a wide variety of uses and can accommodate large groups of people. Community parks should be designed to balance passive community recreational needs with planned civic programs or activities.
Service Area	Community-wide use, within 1-2 miles of neighborhoods, but may serve as a neighborhood park for homes within closer proximity
Per Capita Standard	Five to eight acres per 1,000 people
Size in Acres	Minimum size 25 acres, with 50 to 100 acres most desired
Primary Function and User Groups	Extensive area for community-wide use which may provide active, passive, educational, cultural or programmed functions for all age groups. Facilities should be sized and developed to accommodate large crowds for family gatherings, community festivals and local events.
Design or Locational Characteristics	Community parks should integrate unusual or attractive natural features such as water bodies and wooded areas into the park for preservation and recreational use. The site should be able to accommodate ample off-street parking and should have good vehicular access, preferably from collector or minor arterial roadways.

Antlers Community Park and Beach on Lake Marion



Community Playfield / Athletic Complex

Description

Community playfields are targeted towards organized adult and youth play on a citywide basis. Community playfields should provide the following types of athletic facility needs: softball fields, baseball fields, soccer/football fields, multiple tennis courts, swimming pools, hockey rinks and pleasure skating rinks. Joint use of facilities with elementary, middle or senior high schools can be considered where schedules and maintenance requirements agree.

Service Area

Community-wide; Community playfields generally service populations up to 25,000, however, their service base relates primarily to individual facility needs and the demands placed on them by user groups.

Per Capita Standard

2.0 to 2.5 developed acres per 1,000 population

Size in Acres

Minimum of 20 developed acres, maximum of 60 acres

Primary Function and User Groups

The majority of the users for these facilities will come from beyond a walking range and, as a result, will require adequate parking and available restrooms.

Design or Locational Characteristics

Athletic facilities require regular geometrically shaped parcels, relatively flat terrain, well drained soils, minimal vegetation, and insignificant wetland constraints. Locations near thoroughfares are preferred to accommodate vehicle access and keep traffic off of local streets. Facility use and team competition play may require site lighting and irrigation to extend their usable hours. Community playfields typically require more intense maintenance due to the amount of use and level of play.

King Park Ball Field Complex



Neighborhood Parks

Description

Lakeville’s neighborhood parks are the fundamental building blocks of the park and open space system. Neighborhood parks are distributed throughout the community’s residential areas and are intended to provide equal facilities and access to neighborhoods in the immediate vicinity. Centrally located within a service area or defined neighborhood, the park may be adjacent to elementary or middle school facilities or other park elements.

Service Area

Service areas should be defined by physical barriers such as arterial and major collector roadways with service radii of approximately one-half to three-quarter mile.

Per Capita Standard

2.5 to 3.5 developed acres per 1,000 people; resident population served should not exceed 5,000

Size in Acres

Maximum park size of 8 to 20 acres with 7 to 10 acres developed for active functions. In some cases, joint use of elementary or middle school sites should be considered to minimize duplication of active recreation facilities.

Primary Function and User Groups

The park should provide informal neighborhood open space with provisions for active recreation use which responds to residential neighborhood needs. Primary users will be children and families rather than organized athletic functions.

Cherryview Neighborhood Park



Design or Locational Characteristics

Neighborhood park sites should provide for a variety of uses and possess land characteristics which allow for ball field play as well as canopy vegetation for picnicking. Primary access should occur by pedestrian or bicycle means. Neighborhood parks should be connected by the community trail system. Secondary means should include street access with vehicle parking facilities provided. Adjacent land use should be residential (limited to two edges), school grounds, collector roadway, or community open space.

Natural characteristics should include topography that has flat to rolling terrain and well-drained soils compatible with facility development. Partially wooded sites are preferred, but visibility should allow for good sight lines into the parcel for park security. Water features such as ponds, streams, or wetlands should be included if they are compatible with facility development and do not pose safety problems.

The playground at Lake Marion Elementary School and several others serve as neighborhood parks to Lakeville's residents.



Mini-Parks (also known as Tot Lots or Pocket Parks)

Description	Mini-parks are intended to service special neighborhoods due to geographic limitations. They have insufficient size to fulfill the needs of a complete neighborhood park. The sites usually have less than five acres of usable land and therefore only allow for play equipment, multiuse hard courts and possibly substandard ball fields (suitable for informal recreation). These areas are highly individual neighborhood facilities based upon the nature of the site and the needs of the immediate adjacent population.
Service Area	Less than one-quarter mile radius preferred; One-half mile radius in select circumstances
Per Capita Standard	0.25 to 0.50 acres per 1,000 people
Size in Acres	Minimum size of one acre, maximum size of five acres
Primary Function and User Groups	Facility should respond to specific user groups such as children or senior citizens within residential areas not adequately served by neighborhood parks.
Locational Characteristics	<p>Mini-parks can be public or privately owned and maintained, and should be located primarily within medium and high density residential areas whose population is not adequately serviced by neighborhood parks. Mini-parks may also be located in single family residential areas; however, their use should be limited to neighborhoods which cannot be serviced by neighborhood parks due to access, environmental barriers or unusual neighborhood needs.</p> <p>Mini-parks tend to pose operational and maintenance problems due to their small size and unique conditions. Lakeville could require, in unusual circumstances, developers to own and operate mini-parks to serve their projects if the neighborhood is of medium to high density residential land uses and not in close proximity to a neighborhood or community park.</p> <p>Credits may be given to developers when they opt to incorporate private area green space, playgrounds or other recreational amenities into their development, but only when such private facilities are in addition to community wide system requirements. Examples of these occurrences are Spirit of Brandjten Farms, HRA and Dakota County residential development sites.</p>

Greenways / Linear Parks

<p>Description</p>	<p>Park facilities with this designation function to accommodate varying trail modes, however, they typically incorporate wider rights-of-way or parcel widths. Linear park and greenway uses can include paved trails for walking, hiking, biking, snowmobiling, equestrian, and cross-country skiing. Additionally, these parks provide picnic areas, small play areas, restroom facilities, lighting, interpretive signs and commuter trails. The community’s trail system should capitalize upon linear parks, utilizing them for providing connection and transition areas to and from other trails and parks. The principal objective of greenways/linear parks is to preserve sufficient resource areas such that users can appreciate their character and that the natural qualities are conserved through designation and operation policies.</p>
<p>Service Area</p>	<p>Community-wide</p>
<p>Per Capita Standard</p>	<p>Not applicable</p>
<p>Size in Acres</p>	<p>Varies by use and function, but corridors are to be a minimum of 100 feet in width.</p>
<p>Primary Function and User Groups</p>	<p>An area that provides for recreational hiking, picnic areas, small play areas, commuting, biking, cross-country skiing or other linear modes of recreation or transportation.</p>
<p>Locational Characteristics</p>	<p>Greenways are typically located along natural or designated corridors such as utility rights-of-way, abandoned railroad rights-of-way or natural features including bluff lines, vegetation patterns, water features, and other characteristics consistent with recreational use. Greenways may be nature trails, and often link other activity nodes such as parks, schools, other community features, residential neighborhoods or community commercial areas. They are distinct from typical trail corridors given the wider rights-of-way and presence of natural features.</p>
<p>Typical Facilities</p>	<p>Trails are the typical development within greenways and may provide for a variety of recreational modes. On long, uninterrupted trail segments, support facilities should be provided such as rest areas incorporating elements such as small play areas, benches, picnic tables, comfort facilities, interpretive and informational signs, lighting, trail access points, parking areas and scenic overlooks.</p>

Ipava Greenway and Boardwalk Access Through the Adjacent Neighborhood



Greenways/Conservancy Areas

Description

Greenways/conservancy areas have the primary goal to conserve and manage sensitive natural areas within the community. Large wetlands, sensitive vegetation, storm drainage ways, retention ponds, wildlife corridors, and unique environmental areas should be preserved by this conservation designation. In general, conservation areas should be acquired through means other than park dedication or direct purchase, such as tax forfeiture procedures, direct developer dedication, utility easement, or drainage easement, purchase of conservation easements, and use of miscellaneous City properties.

Primary Function and User Groups

Limited passive recreation can be allowed within conservation areas provided that their use is compatible with the management and intent of the parcel. Such activities may include nature interpretation areas, hiking and biking trails, picnicking, and wildlife observation. Trail surfaces should be paved for easy maintenance in addition to possible woodchip or ag-lime surfaces to allow for multi-seasonal use including cross-country skiing or snow shoeing. Active recreational uses should be limited from parcels with this classification.

Locational Characteristics

Uses are limited to wildlife corridors, picnic areas, nature viewing, environmental education, interpretive areas, passive hiking or other trail modes consistent with resource preservation, conservation or specific management requirements necessary to maintain the area's natural characteristics.

Typical Facilities

Conservation designations should be used in areas of special environmental sensitivity including creek valleys, wetlands, wetland buffer areas, bogs, lake front views, unusual vegetation, storm drainage areas, retention ponds, stands of significant trees or unique bluff areas.

Developed facilities should be limited to elements compatible with resource preservation or management and may include passive trails, interpretive signing, controlled vehicle or trail access through signing.

Spirit of Brandtjen Farm and Conservation Area Preserved as Part of the Spirit of Brandtjen Subdivision



Special Uses Parks/Facilities

Description	Facilities which provide special activities, unique built environments or single purpose events fit in this classification. Their need should respond to distinct markets, demands or opportunities within the community. Characteristics vary widely in response to the facility, its site, and the demand responded to. Examples may include destination facilities within a larger park.
Service Area	Community-wide
Per Capita Standard	Variable
Size in Acres	Varies by function and facility type
Primary Function and User Groups	Areas are for single-purpose recreation activities whose use requires a freestanding facility because of specific parcel characteristics or incompatibility with other recreational areas. Uses typical of this special designation include golf courses, nature centers, conservatories, arboretums, gardens, fishing piers, amphitheaters, cross country ski areas, splash pad or frisbee golf. Locations will be dictated by the use’s specific needs for unusual physical characteristics such as topography, water features, vegetation or soils; or those uses which need to be buffered or kept independent of developed areas.
Locational Characteristics	Variable based on facility purpose.
Typical Facilities	Variable based on facility purpose.

Historic Sites

Description	The primary opportunity for formal designation of a site with historical or cultural significance is the Lakeville Area Arts Center (formerly the All Saints Church). As such, classification for these types of facilities is established should this effort be pursued or other sites are identified for potential designation. The Parks, Recreation and Natural Resources Advisory Committee should work collectively with the Lakeville Historical Society and the Dakota County Historical Society to facilitate identification and designation of potentially significant historical sites within the Community.
Service Area	City-wide
Per Capita Standard	Not applicable
Desirable Size in Acres	Varies according to historical feature or element to be preserved or interpreted. Size should be minimum one-half acre to encourage use and provide for support facilities.
Primary Function and User Groups	Site should preserve or interpret historic areas or buildings of community significance with endorsement by local historical commission.
Locational Characteristics	Determined by historic site
Typical Facilities	Sites may be land parcels or structures which have unusual or unique historic significance to the community and merit preservation, interpretation or other related community uses. Facilities vary according to need for preservation, interpretive function and security. Support facilities may include parking, comfort facilities, trails and signing.

Existing City Park Facilities

Map 6 in Appendix C shows the locations of all existing parks in Lakeville. A summary listing of all city parks has also been included by classification. There are 85 park and greenway/conservation areas comprising 1,698.05 acres, broken down as follows: nine community parks, four community play fields, 28 greenway/conservation areas, 34 neighborhood/mini parks, and ten special use areas.

Listing of Parks by Classification

Neighborhood Park

Bassett	Brackett's Crossing
Bunker Hill Park	Cedar Highlands
Chadwick	Cherryview
Dodd Pointe	Dodd Trail
Fairfield	Fieldstone
Foxborough	Greenridge
Highview Heights	Hypointe Crossing
Independence	Jaycee
Kenmore	Kenreel
Kensington	Lakeridge
Lone Oak	Lynwood Heights
Marion Fields Park/ Greenway	Meadows Park
Prairie Lake Park	Oak Shores Park
Rolling Oaks Park	Quail Meadows Park
Spyglass Park	Sleepy Hollow Park
Terrace Park Tot Lot	Stoneborough Park
	Village Creek Park

Community Parks

Antlers	Orchard Lake Park
Casperson	Parkview Park
East Community	Ritter Farm Park
King Park	Valley Lake Park
West Lake Marion Park	

Community Playfields

Aronson Park	McGuire Soccer Park
Steve Michaud Park	Quigley-Sime Park

Conservation Areas

Cherry View Pond Conservation Area
 Dakota Heights Conservation Area
 Daniels Conservation Area
 Dodd Marsh Conservation Area
 Foxborough Conservation Area
 Goose Lake Conservation Area
 Great Oak Shores Conservation Area
 Kachina Court Conservation Area
 Knollwood Circle Conservation Area
 Lone Tree Point Conservation Area
 Meadows Conservation Area
 Steve Michaud Park Conservation Area
 Oaks of Lake Villa Park Conservation Area
 Orchard Trail Conservation Area
 Orchard Lake Conservation Area
 Quail Meadows Conservation Area
 Raven Lake Conservation Area

Greenways and Nature (Grass) Trails

Rolling Oaks Conservation Area
 Soberg Waterfowl Production Area (Dakota and Scott Ctys.)
 Spring Hill Park Conservation Area
 Wild Meadows Park Conservation Area
 Woodbury Conservation Area
 Zweber Woods Conservation Area

Aronson (bridge to Hamburg) Nature Trail
 Cherry View Pond Conservation Trail
 Goose Lake/Stonebriar Nature Trail
 Ipava/50 Greenway
 Kabot Cove to Kanabec Trail Lake Place Greenway
 Mallard Shores Greenway North Creek Greenway
 Quail Meadows Greenway Raven Lake Nature Trail
 Ritter Farm Nature Trail Shady Oak Grove Greenway
 South Creek Greenway Zweber Woods Nature Trail

Special Use Areas

Aronson Park Veterans Memorial Heritage Center
 I-35 Fishing Dock James Jensen
 Juno Trailway Trailhead Kenwood Trails Disc Golf
 King Park Miracle Field Lakeville Area Arts Center
 Market Plaza Orchard Lake Beach
 Pioneer Plaza
 Ritter Farm Park Ed Mako Environmental Learning Center
 Steve Michaud Park Land of Amazement
 Wayside Park

Regional Parks

Cleary Lake in Credit River Township
 Dakota County Fairgrounds in Eureka Township
 Doyle-Kennefick in rural Scott County
 Lebanon Hills in Eagan and Apple Valley
 Murphy-Hanrehan in Savage and Credit River Township
 Minnesota Zoological Gardens in Apple Valley
 Whitetail Woods in Empire Township

Regional Trails

Big Rivers Regional Trail traverses along the Mississippi River approximately 7 to 8 miles north of Lakeville

Mississippi River Regional Trail traverses the area between Spring Lake Park and South Saint Paul

North Urban Regional Trail connects South Saint Paul to West Saint Paul and Mendota Heights

**School Fields &
Playgrounds**

Century Middle School
Cherryview Elementary
Christina Huddleston Elementary
District Educ. Center (Crystal Lake Elementary)
Eastview Elementary
John F. Kennedy Elementary
Kenwood Trail Middle School
Lake Marion Elementary
Lakeville Elementary
Lakeville North High School
Lakeville South High School
McGuire Middle School
North Trail Elementary
Oak Hills Elementary
Orchard Lake Elementary
Parkview Elementary

School District Facilities

Lakeville residents are served by three different school districts including Lakeville (District 194), Rosemount (District 196), and Farmington (District 192), refer to Map 5. The following table summarizes recreational or athletic facilities owned by the School Districts to which Lakeville residents have access. Additionally, residents of the Rosemount School District have access to youth and adult indoor activities and community education classes provided by the Rosemount Athletic Association.

AREA SCHOOL DISTRICT ATHLETIC FACILITIES									
	Soft ball	Base ball	Foot Ball	Soccer	Tennis	Basket Ball Hoops	Hockey Outdoor	Run Track	Gen Play Field
ISD 194 – Lakeville									
Orchard Lake Elem.	2	--	--	--	--	1	--	--	--
Lake Marion Elem.	2	--	--	1	--	2	--	--	--
Christina Huddleston Elem.	2	--	2	--	--	2	--	--	--
Crystal Lake Elem.	3	--	--	2	--	2	--	--	--
Cherryview Elem.	2	--	--	2	--	2	--	--	--
Eastview Elem.	2	--	--	4	--	2	--	--	1
John F. Kennedy Elem.	--	--	--	--	--	1	--	--	--
Lakeview Elem.	4	--	--	--	--	2	--	--	--
Oak Hills Elem.	1	--	--	--	--	2	--	--	1
McGuire Middle	3	1	1	6	6	--	2	--	--
Kenwood Trail Middle	2	1	1	2	4	--	--	--	--
Century Middle	4	--	1	2	--	--	--	1	--
Lakeville North High	3	2	1	2	8	--	--	--	--
Lakeville South High	5	4	2	4	6				
Sub-Total	35	8	8	25	24	16	2	1	2
ISD 196 – Rosemount									
Parkview Elem.	4	--	--	2	--	2	1	--	--
ISD 192 – Farmington									
North Trail Elem.	3	--	--	2	--	3	1	--	--
FACILITY TOTALS	42	12	12	29	24	21	4	1	2
Source: City of Lakeville, ISD 194, ISD 196, ISD 192									

Note: For a complete list of public and private athletic facilities located within the City of Lakeville, as well as specific field/court types, refer to pages A5 and A6 of Appendix A.

Multiple Purpose Trailway (MPTW)

Existing City Trail Classification System

Since 1987, the City of Lakeville has been working toward establishing a comprehensive pedestrian and bicycle trail system. The original Trails Plan incorporated the following trail classification system that has been used since then. Existing trails are shown on the attached map with these designations. In recent years, greater emphasis has been placed on the establishment of greenways which incorporate natural resources into the trail corridor and many times serve as a combined linear park and trail. In later chapters of this document, a new classification system will be revealed.

Trail segments designed for the integration of a variety of compatible non-motorized trail uses. The MPTWs are bituminous trailways having a minimum trail width of ten (10) feet. The MPTWs are typically off-street trailways developed within the street rights-of-way of minor arterial or major collector streets. The overland MPTW corridors generally provide trail connections between major destinations routed through parks and other areas characterized by aesthetic natural amenities. The MPTWs are intended to be the major elements of Lakeville's trail system in that they are designed and located in a manner that accommodates a full range of trail uses, and provide the most direct routes to major destinations.



Sidewalks (SW)

The City of Lakeville has required sidewalks along both sides of minor collector streets and along one side of residential streets to facilitate safe pedestrian movement through residential neighborhoods and commercial areas. Five (5) foot wide concrete pedestrian sidewalks are the standard design in residential areas and eight (8) foot concrete pedestrian trails on both sides of streets in commercial areas. These sidewalks are reserved exclusively for pedestrian use. Construction of sidewalks is the responsibility of the developer and should be installed when the residential and commercial streets are constructed.



On-Street Bike Lanes (BL)

In areas that are not conducive to the provision of off-street trails due to existing development, limited street right-of-way (i.e., minor collector streets), natural features, or other physical limitations, on-street bicycle routes may be designated. Bike lanes are designated on-street trail segments for the exclusive use of bicyclists. Bike lanes vary from five (5) to eight (8) feet wide paved trail segments located on the street shoulders, usually both sides of the street. Bike lanes are provided and signed to direct neighborhood traffic to the major arterial system or area destinations.

Existing Trail Facility Inventories & Assessments

Currently, the City has numerous trail segments and corridors which are developed and readily utilized. Map Six shows the existing trail segments by location and corridor type.

Multiple Purpose Trailways

Multiple purpose trailways (MPTWs) are most prevalent in the City because of their versatility and ease of construction in association with street improvements. They provide the most direct routes to user destinations and can be accommodated easily within street rights-of-way, where physical limitations are fewer. Furthermore, the acceptance of trails located along major thoroughfares within residential areas is higher because they are less intrusive to homes relative to traffic and privacy. Ease of visibility and the ability to provide controlled crossings are also benefits of multiple purpose trailways.

Overland Multiple Purpose Trailways are predominantly located within park areas and along greenways, traversing between other on-street or multiple purpose trails in the City. They provide necessary access into and around park facilities and make critical connections over longer stretches in a few areas of the community to link heavily populated areas to major destinations. The overall goal of the MPTW corridors is to provide for community-wide circulation and connections to adjacent communities, access to major destinations within the City such as the Lakeville Central Business District and regional destinations such as the Vermillion River or Murphy Hanrehan Regional Park.

Sidewalks

Sidewalks are becoming more common in the City. Since 2000, the City has been requiring sidewalks to be constructed by the developer along one side of all local residential through streets and on both sides of local streets within commercial areas. As such, sidewalks mainly exist in a piecemeal manner within older neighborhoods and the central business district where they were established many years ago or where limited right-of-way widths do not allow for a wider, multiple purpose trailways and in newer developed areas of the City. The requirement for construction of sidewalks is to continue to provide for connections within and between neighborhoods, as well as to provide access to MPTW corridors.

On-Street Bike Lanes

On-street bike lanes are located in older areas of the City that are not conducive to the provision of off-street trails due to existing development, limited street right-of-way, natural features, or other physical limitations. Future development is expected to be limited only to providing connections between these on-street bike lane segments and other portions of the trail system.

**Bracketts Crossing
Mini-Park/Play Area
Adjacent to an
On-Street Bike Lane**



Greenway Corridors

In recent years, greater emphasis has been placed on the establishment of greenways which incorporate natural resources into the trail corridor and many times serve as a combined linear park and trail. The City of Lakeville has been successful in protecting environmentally sensitive areas of the City in this regard through the creation of greenways in six areas of the community: North Creek, South Creek, Ipava/Highway 50, Lake Place, and Shady Oak Grove. Through the establishment of these greenways, the City has preserved green space and buffered the natural drainage ways from the intrusion of urban development. The 2008 Lakeville Comprehensive Plan promotes the establishment of additional greenway corridors along the City's other tributaries, major drainage ways, wetlands, and storm water ponding systems to accomplish these functions:

- Preserve areas of contiguous open spaces as a means of maintaining the City's natural features, defining urban land use patterns and neighborhoods, and connecting community parks with protected natural open spaces.

- The greenways preserve the ecological functions of the City's environmentally sensitive areas. The establishment of greenway buffers along the City's tributaries serves to promote water quality within the streams through storm water filtering and infiltration. Urban land uses are allowed at the periphery of the greenways with subdivisions and site design that preserve the vistas into the greenways. The City has adopted a Wetland Management Plan and Shoreland District regulations that establish storm water management, development setbacks and provision of buffers that can be incorporated as part of greenway corridors to protect and enhance the natural environment aesthetically and functionally. Requirements for infrastructure planning (i.e., street and utilities) are also designed so as to have the least disruption possible of the greenway.
- The greenways provide a diversity of natural features and habitat. The greenways provide for wildlife habitat and to facilitate wildlife movement through areas dominated by human activities. In this respect, the greenways have been configured to include both low lands and upland areas.
- The greenways are intended to provide recreational trail and linear park opportunities to Lakeville residents. This allows all community residents the opportunity to enjoy the natural amenities of Lakeville. The City will pursue additional greenway corridors in conjunction with new development requests along the balance of the City's tributaries.

Ipava Greenway



Equestrian Trails

Lakeville has several riding and stable facilities, both within the City and nearby in adjacent communities and townships. The City also has several horse/hobby farms under private ownership which are mainly concentrated in south western Lakeville. Presently, there are horse riding trails existing within Murphy-Hanrehan Park Reserve, Ritter Farm Park, and within privately owned riding and stable clubs. To get to these riding areas, local riders use the street rights-of-way. The City has no designated horse riding trails within other areas of the City, however, resident horse owners do utilize Ritter Farm Park and an area north of Brackett's Crossing for horseback riding.

Murphy-Hanrehan Trail on the Park's Eastern Border Which is Accessed from Judicial Road



Cross Country Skiing

Public cross country ski trails exist within Ritter Farm Park. There are no longer any private cross country ski trails within the City. While designated trail routes are not established in all City parks, the City does encourage cross country skiing in the larger community and neighborhood parks.

Snowmobiles

Currently, snowmobile use is allowed within Lakeville on local streets in a very controlled manner. Title 6, Chapter 3 of the City Code outlines the City's rules and regulations for snowmobile operation within Lakeville.

In addition to limited street use of snowmobiles, the City also has three established snowmobile trails. These trails represent only a portion of the Dakota County snowmobile trail system. The three trails, as shown on the following map, provide for free movement throughout the City and trail connections into Prior Lake, Farmington, Elko/New Market, Castle Rock, Eureka Township, and Credit River Township.

The snowmobile trails are maintained by private snowmobile clubs such as the Lakeville Sno-Trackers. Policing of the trail use is done by the Department of Natural Resources, Lakeville Police Department, and the Dakota County Sheriff.

As the community continues to grow, the urban land use pattern will reduce the availability of snowmobile trails. Future trail planning will attempt to make accommodation for snowmobile use within Lakeville where appropriate and compatible with development.

Existing Regional Park & Open Space Facilities

A map showing the recreational facilities in communities abutting Lakeville and in the Dakota and Scott County regions can be found in the appendix. The following paragraphs provide a summary of each of the seven (7) regional park facilities that provide recreational opportunities for Lakeville residents now, as well as in future years: Cleary Lake, Murphy-Hanrehan, Doyle-Kennefick, Whitetail Woods, the Minnesota Zoo, Lebanon Hills and Soberg Waterfowl Production Area.

**Cleary Lake
Regional Park**

Cleary Lake Park is operated by the Three Rivers Park District and is located in Credit River Township, Scott County. Boat access for canoeing and sailing is provided. The park also has a par-3 golf course and driving range, a 28-acre off-leash dog park and several large camp sites. Other facilities include bike, pedestrian and horseback trails, nature interpretation, picnicking and swimming. Winter activities include cross-country skiing, snowmobiling and snow shoeing.

**Murphy-Hanrehan
Park Reserve**

Murphy-Hanrehan Park Reserve is approximately 2,400 acres in area and is located in Savage and Credit River Township, contiguous to Lakeville’s western boundary. The park reserve, owned and operated by the Three Rivers Park District, has trail facilities for hiking, horseback riding, cross-country skiing, snowmobiling and snow shoeing. The park also has a concrete boat launch with access to Murphy Lake for non-gas motor boats or non-motorized boats. In 2004, the park was designated as an "Important Bird Area" by the National Audubon Society due to its extensive undeveloped and wooded areas.

**Lebanon Hills
Regional Park**

This facility is operated by the Dakota County Parks Department and is located in portions of Eagan and Apple Valley. The regional park provides canoeing, camping, fishing, hiking, horseback riding, nature interpretation, picnicking and swimming. Winter activities include ice fishing, cross-country skiing, snowmobiling and snow shoeing.

**Whitetail Woods
Regional Park**

Vermillion Highlands Partnership in Dakota County is adding more places for research, recreation, education and wildlife management with the new 460-acre Whitetail Woods Regional Park in Empire Township. Park planning is underway to define a future vision for Whitetail Woods including its natural resources, recreation, services, and facilities. Dakota County is working with project partners—Empire Township, the University of Minnesota and the Minnesota Department of Natural Resources—on innovative, connected opportunities for recreation which includes a visitor center, trails, event and nature/water play areas, camping cabins, off-leash dog area, disc golf and a variety of gardens.

Whitetail Woods will be part of the 7,500-acre natural area complex that includes the State DNR Vermillion Highlands and the University of Minnesota’s research facility, UMore Park . The University of Minnesota Outreach, Research and Education Park is a living laboratory at an active urban/rural edge used for teaching, research and community education about contemporary issues such as land use history and planning, agriculture, natural resources, health, environment, energy and water.

**Doyle-Kennefick
Regional Park**

A future regional park is planned in rural Scott County between St. Catherine and Lennon Lakes that will encompass 1,145 acres. The planned Doyle-Kennefick Regional Park has a mix of high quality native forests and wetlands, regionally significant wildlife habitat, beautiful scenery and outstanding opportunities for outdoor recreation. The Park’s vision reflects the history of the site and the community heritage of living off the land and a joy and passion for outdoor recreation, conservation and nature exploration. Future amenities include a nature center/outdoor discovery center, 13 miles of hiking and nature trails, 8 miles of bike trails, picnic shelter, trail head, and renovation and re-use of farmstead structures.

Federal and State Recreation Facilities

Minnesota Zoological Gardens

Located in Apple Valley, the Minnesota Zoo is one of two regional zoo facilities in the Metropolitan Area. Widely recognized for its creative, ever-changing exhibits and collection of animals, the zoo also provides nature interpretation, picnicking, and cross-country skiing.

Soberg Waterfowl Production Area

This 113-acre wildlife refuge area is located in Dakota and Scott Counties. The waterfowl production area is open to public fishing and hunting and provides the local communities the opportunity to participate in wildlife-dependent recreation and environmental education. These opportunities are available through non-motorized access within the production area including hiking, snowshoeing, skiing, or where appropriate, biking on established trails.

Regional Trails**Regional & Dakota County Trails**

Contact with the State Department of Transportation reveals that there are no state railways located within the corporate boundaries of Lakeville. However, there are three regional trails that are open to the public in Dakota County at the present time:

- Big Rivers Regional Trail traverses along the Mississippi River approximately 7 to 8 miles north of Lakeville
- Mississippi River Regional Trail traverses the area between Spring Lake Park and South Saint Paul
- North Urban Regional Trail connects South Saint Paul to West Saint Paul and Mendota Heights

**Metropolitan Council
2030 Regional Parks
Masterplan**

Metropolitan Council has implemented a 2030 Regional Parks Masterplan that makes several recommendations for regional parks and trails in association with counties in the Twin Cities area. The following areas are located within areas surrounding Lakeville.

- Develop a plan and acquire new land for Empire Wetlands (Whitetail Woods) Regional Park to the west of the Lakeville City Limits.
- Connect Murphy-Hanrehan Park Reserve to Lebanon Hills Regional Park and the Empire Wetlands Regional Park from the Mississippi River Trail. Search corridors include the Terrace Oaks Greenway Regional Trail, Vermillion River Greenway Regional Trail and the Lake Marion Greenway Regional Trail as indicated in Dakota County's Park System Plan. Portions of the Lake Marion Greenway have been defined and set aside as parks and conservation areas in southern portions of Lakeville along 215th Street.
- Establish the North Creek Greenway Regional Trail which will connect the Minnesota Zoo to the Vermillion River Greenway Regional Trail. A portion of this trail passes through the northeastern portion of Lakeville and its route has been identified through joint efforts of the City, Dakota County and property owners. At the time of future development, platting will define in detail the land that will be dedicated as park land or conservation easements.
- Extend the Big Rivers Regional Trail (Minnesota River Regional Trail in Dakota County's Plan) to the Scott County Border

- Extend the Mississippi River Regional Trail from Hastings to Goodhue County
- Establish a new regional trail connecting the North Urban Regional Trail, Lebanon Hills Regional Park, Empire Wetlands Regional Park, and the proposed Mills Town State Trail.

Dakota County

The Dakota County Bikeway Plan identifies a number of bikeway routes through Lakeville including:

- County Road 5 and County State Aid Highway 50 extending through Lakeville from Burnsville to Farmington, following the County State Aid Highway 50 right-of-way.
- A second north/south bikeway route is located along Pilot Knob Road between Apple Valley and Lakeville, which opened in 2003.
- A north/south bikeway is proposed between the Apple Valley boundary and the Lakeville CBD area via Cedar, Dodd, Highview and Holyoke Avenues.

Scott County

Scott County maintains one regional trail along County Road 21 as it extends west from 185th Street in Lakeville, around Cleary Lake and into Prior Lake.



Abutting Community Facilities

Burnsville

The City of Burnsville owns two park and open space facilities adjacent to Lakeville. Lac Lavon athletic complex is a community park and community athletic complex located immediately east of Crystal Lake. The park provides a wide variety of community-oriented activities and spaces which are accessible to Lakeville residents who reside in the north central portion of the community. Crystal Lake West Park is a large park located on the western side of Crystal Lake which provides water access, picnic areas and walking trails. Orchard Garden Mini-Park may provide playground opportunities to those residents on the very northern border of Lakeville. Numerous other parks are located in Burnsville, as well as a par-3 golf course, Birnamwood, which is also owned and operated by the City.

Apple Valley

Apple Valley has a number of neighborhood parks proximate to its southern border which may benefit Lakeville residents, including Lac Lavon Park and fishing dock, Apple Ponds, Regatta Park, Kelley Park and Cobblestone Lake. A 20-acre athletic complex called Quarry Point is located in Apple Valley along Lakeville's northern boundary, with access off of County Road 31. Access to this park is available through MPTW corridors along CSAH 46 as well as a trail from the Spirit of Brandtjen Farm development in Lakeville under CSAH 46 using a box culvert installed for mining purposes.

Farmington

Farmington has several large community parks, one being Rambling River Park which is located in the southeastern section of the City and can be accessed by Lakeville residents via trails along County Road 50. This 78-acre park has lots of amenities including paved trails, playground equipment, ball fields and a hockey rink, which is used as a skateboarding park in the off-season. Future plans call for extension of the North Creek greenway corridor from East Community Park in Lakeville through Farmington to the Vermillion River.

Rosemount

Rosemount lies adjacent to the northeast corner of Lakeville and contains two neighborhood parks in close proximity along Chippendale Avenue West and Shannon Parkway. Further away from Lakeville to the north, Rosemount has numerous other parks and Rich Valley Golf Club. Valleywood Golf Course also traverses the shared border with Apple Valley.

Empire Township

Empire Township currently contains no park facilities, but is home to Southern Hills Golf Club. However, as a part of the Metropolitan Council’s 2030 Regional Parks Policy Plan, an area of Empire Township has been defined for acquisition of land for development as a new regional park.

Eureka Township

The Dakota County Fairgrounds are located in Eureka Township, adjacent to the Farmington City Center.

**Credit River
Township**

Credit River Township contains some neighborhood parks and will continue to establish additional new neighborhood parks as part of the development of residential subdivisions. The Township also contains portions of two large regional parks, Murphy-Hanrehan and Cleary Lake, and Legends Golf Club.

**New Market
Township**

New Market Township has one small community park where the town hall is located and a 15-acre parcel owned by the DNR known as Spartina Wildlife Management Area.

The Townships adjoining Lakeville do not offer any community playfields. The Townships continue to be reliant on playfield facilities within adjacent municipalities for organized league sports.

Lifetime Fitness

All Lakeville residents have access to the swimming pools and outdoor water park at Lifetime Fitness for a daily fee, even if they are not members of this health club.

Other Specialized Recreational Facilities

Numerous other public and private recreation facilities are available to Lakeville residents aside from the public park and trail facilities.

- Health Clubs
- Buck Hill Ski Area
- Minnesota Zoo
- Several Horse Stables for Boarding and Riding Lessons
- Minnesota Horse and Hunt Club
- Apple Valley Aquatic Center
- Cascade Bay Aquatic Center (Eagan)
- Minnesota Landscape Arboretum (Chanhassen)

Chapter Four

Overall Parks, Trails & Open Space System

Issues & Opportunities

The Lakeville park and trail system has routinely been described as a superior system by city residents, most recently as part of the Envision Lakeville process. Diversity of recreational facilities, quality park and trail design, and strong recreational programs have consistently been cited as strengths of the Lakeville system. The quality of Lakeville's recreational facilities has been credited to strong resident support and proactive administration that includes the City Council, advisory committees, City staff, and local athletic associations. Through early foresight, continued expansion and strong administration, Lakeville has been very proactive in park and trail system planning in a successful effort to stay ahead of the City's pace of land use development. The Park and Recreation Department's attention to detail has greatly contributed to the quality of Lakeville's park and trail facilities.

Future Growth & Related Issues

The Metropolitan Council has prepared a regional analysis and forecasts for population to the year 2040 as part of their Thrive MSP 2040 policy document. The preliminary demographic analysis for the Twin Cities region includes projecting 31% population growth and 37% employment growth between 2010 and 2040. By 2030, there will be more seniors than school age children within the Twin Cities Metropolitan Area. Seniors are 11% of the population in 2010 but will be 21% in 2040. The change in population will mean a greater increase in the number of households compared to population due to more single person households.

While the rate of population growth in Lakeville was slowed in recent years, development activity is increasing and Lakeville's population is still forecast to grow from 55,954 in the year 2010 to 88,800 by 2030. Updated projections will be developed by the City and Metropolitan Council for the 2018 Comprehensive Plan update and may indicate a delay of five to ten years by which the population levels are achieved. As the community continues to develop and mature to 2040, the Lakeville will continue experience demand on the parks, trails and open space system. Along with the new growth, the City will experience changing demographics within established neighborhoods due to the maturation of existing households and the increasing number of smaller families and non-traditional households.

**Future Growth &
Related Issues,
continued**

In recognition of these trends, the following issues are identified:

- Lakeville’s Parks, Trails and Open Space Plan is an important tool in maintaining the community’s quality of life. On-going land development will diminish available open space within the urbanized area. The City must continue with park and open space acquisition in anticipation of development and concurrent with the development process in implementing the Parks, Trails and Open Space Plan. Lakeville must plan and prepare for the next twenty-five years today to preserve its future open space options.
- Development (and redevelopment) of the parks, trails and opens space system must take into consideration changing population and demographics. While Lakeville’s population will continue to consist of a large percentage of families with children following new development, in-place households will be maturing. As the City looks to maintain and redevelop existing neighborhood park facilities, the demographics of each neighborhood will be a more significant consideration in planning for each facility.
- Social changes have affected the way the parks and trails system is utilized. Greenways and trails to destination locations within the system are emerging as more of a focus than individual parks within each neighborhood. With more residents providing recreation structures in their own yards, fewer neighborhood parks spaced at a greater distance become necessary and are to be located in consideration of physical barriers as much as spatial distances. Development of community oriented amenities, such as a dog park, splash pad or skate park, within individual parks also becomes a focal point of the parks and trails system to create destinations that drawn users from throughout Lakeville.
- The Parks, Trails and Open Space Plan must respond with specific measures that preserve, promote and enhance its natural characteristics. The continued implementation of greenways planning is intended to focus on the preservation and protection of the City’s valuable environmentally sensitive areas.
- Preservation of open space provides opportunity not only for recreation but for the City to address water quality and improve stormwater management related to surrounding development.

**Future Growth &
Related Issues,
continued**

- Lakeville's projections for continued population growth suggest that future park planning must continue to be integral to new subdivisions to provide safe and convenient access to public recreational facilities within growth areas.
- As illustrated in Lakeville's 2030 Land Use Plan, housing patterns and densities in the community will include a range of urban uses, however, single family residences will remain predominant over multiple family or townhouse dwelling options, except the Cedar Avenue BRT corridor where higher transit oriented development is to be promoted. Neighborhood parks and greenways will continue to be the fundamental building blocks of the park, trail and open space system.
- Athletic associations continue to experience significant growth in their organized sport programs. This growth has resulted in expanded league play and extended seasons placing greater burden on City playfields. Furthermore, the City's policy has been that dual use of playfields is not practical due to the varying needs of the different sports. The projected growth trends for the City, as well as the individual sports leagues, indicate a growing need for more playfields as well as a desire for indoor practice facilities, for organized play with attention given to segregating the individual sports.
- Maturing neighborhoods are out-growing the need for existing mini parks. The redevelopment of existing park facilities to address the changing needs of the community will be an opportunity to provide more passive open spaces or activities undertaken by older populations and to provide complementary facilities at existing parks in close proximity to one another creating a destination quality for users.

Township Growth

Historically, concern has been expressed over residential development in unincorporated areas adjoining Lakeville and the impact that these new households have on Lakeville's park and trail system as well as recreational programs. In recent years, 18-20 percent of the enrollment in youth sport programs consisted of people who live in the Lakeville school district but did not live within the City. Typically, the Township development patterns have not given significant attention to providing their own park facilities and as a result they utilize Lakeville's facilities as being closest to their neighborhoods. There are two strategies the City has pursued to address this issue:

- The City should continue planning its park and trail system to accommodate its future growth. The City should pursue a more equitable relationship with the adjoining townships through the promotion for the development of township parks or increase non-resident fees for Lakeville's recreational programs.
- Use of school district facilities paid for by Lakeville and non-Lakeville residents utilizing these facilities contribute to the community's overall park system and help off-set the impact of non-residents participating in Lakeville's recreation programs.

**On-Going
Maintenance Costs
and Long-Term
Financial
Implications**

The current and projected strong growth has provided park dedication revenues used for the financing of the City's expanding parks and trails system. With the maturation of the City and park and trail system, consideration must also be directed to the future maintenance and rehabilitation costs associated of the older in-place elements of the parks, trails and open space system. Such efforts will be more reliant on property taxes to cover maintenance expenses and current park planning should attempt to anticipate the financial implications associated with a slower rate of community growth. In implementing the Parks, Trails and Open Space Plan and address the long-term financial costs of maintaining the park and trail system, the City will develop a capital improvement and maintenance program.

Park Needs and Opportunities

Through the planning process for the 2014 Parks, Trails and Open Space Plan, the following park needs and opportunities have been identified:

- Strong interest and support continues for the on-going development of East Community Park and acquisition of additional community park and playfield facilities to meet growing needs in this area of the City with expansion of the MUSA and opening of the area to new development.
- There is a need for more neighborhood park facilities west of I-35. With the exception of Ritter Farm Park, most of the City's parks west of I-35 are comprised of small sites offering limited recreational opportunities. Opportunity exists to further expand park facilities west of I-35 in cooperation with Three Rivers Park District for the eastern portion of Murphy-Hanrehan Park Reserve.
- Ritter Farm Park is a very unique and attractive component of the City's overall park system, however, the park has limited site access. Requests for improved access into Ritter Farm Park via trailway connections have been identified as a priority improvement along with potential expansion of the park.
- Athletic associations within the community have consistently complimented the City on the quality of the existing facilities, while continuing to express a need for expanded facilities to serve growing enrollments in their program. A desire to have facilities of sufficient size and design to accommodate tournament play was expressed for all sports as a means to promote Lakeville's sport programs, generate revenues for both the athletic associations and park improvements, and enhance the Lakeville area economy. Interest for indoor practice facilities that allow year-round activities is also growing.
- Collaborative efforts between the City of Lakeville and the local School Districts should be continued as part of the planning for future facilities being considered within Lakeville.

High Priority Park Acquisition Sites

- As the park system matures, there is opportunity to identify specialized facilities within existing and planned parks that provide for community attraction and create interest in the parks as destinations. Examples of such facilities may include a dog park, fitness challenge park, amphitheater or splash pad water amenities.
- The Parks and Recreation Department can encourage greater use of parks and trails through outreach programs including implementation of a bike rental program, using technology as part of visiting park facilities in a 21st century version of a medallion hunt or community scavenger hunt identifying significant landmarks within park areas.

The Parks, Trails and Open Space plan identifies high priority acquisition sites throughout the City to expand existing facilities and preserve natural resources. Examples of these sites include:

- A large stand of significant trees to be known as the Central District Woods located adjacent to King Park, east of Highview Avenue and south of future 185th Street
- Expansion of Ritter Farm Park south of its current boundaries to include a small wetland
- Acquisition of the Bury and Rehtzigel properties to connect Lake Marion and Casperson Parks
- Expansion of Antlers Park to CSAH 50
- The expansion of King Park for additional fields and parking
- Acquisition of additional land to the southwest of Lakeville South High School for parking and to accommodate extension of the South Creek/Lake Marion Greenway Regional Trail

Trail System Needs and Opportunities

The Lakeville trail system is an integral component of both the City's park and transportation systems. The following issues and opportunities have been identified:

- The greenways within the trail system continue to become a primary focus of the parks and trail system to connect facilities and provide passive open space recreation oriented to Lakeville's changing demographics. The concept of trails through natural greenways offer a unique and attractive element to the Lakeville trail system that will be resistant to demographic changes likely to occur as the community matures. The acquisition of land and development of greenways will be the focus of the trail system through 2030. Planning should coincide with the Dakota County Regional Trail Plan and incorporate drainage basins and other natural resource areas in the community.
- The completion of the trail system is development driven with trail segments constructed with new subdivisions. This has resulted in some incomplete trail corridors and dead-end trails. The completion or extension of the existing incomplete trails is seen as a priority to provide for circulation and connection throughout the Parks and Trails system and to provide for safe routes to schools and other destinations.

The following trail corridors are specifically identified as priority areas for the Lakeville trail system:

- Trail connection to park facilities in adjoining communities and regionally, exponentially expanding recreation opportunities available to Lakeville system users.
- Construction of the North Creek Greenway Regional Trail in eastern Lakeville and connection to East Community Park.
- Acquisition and development of remaining land for the Lake Marion Greenway Regional Trail which connects Lakeville to Farmington on the south side of the City and winds its way north along the west side of Lake Marion, into Credit River Township and Murphy-Hanrehan Regional Park.
- Establishment of community and neighborhood linear parks and greenway corridors that connect to the regional greenways.

New Trail Classification System

Lakeville's existing trail classification system has been used for many years and has focused on the establishment of mostly multi-purpose trail ways and sidewalks. Primarily located within street rights-of-way and through subdivisions within easements of limited width, the simple multi-use classification has helped to establish many miles of trails accessible to the vast majority of the community.

With more emphasis of trail development in terms of establishing greenways, the Parks Department and the Parks, Recreation and Natural Resources Committee (PRNRC) have recommended changes to the trail classification system. Defining and differentiating the trail types helps to provide equality among use types and color-coding each on a map helps users to visually see the loops and connecting segments.

Greenways

The creation of greenways in a linear corridor connecting and preserving environmentally sensitive land forms in the City was strongly supported. The greenways are seen as accomplishing the following planning objectives:

- The greenway will preserve the ecological functions of the environmentally sensitive areas of the City and provide areas for the preservation or establishment of plants, waterways and open spaces
- The preservation of contiguous open space through greenways will provide a means of maintaining the city's natural features, defining urban land use patterns and neighborhoods and connecting community parks with protected natural open space.
- The greenways will provide diverse wildlife habitat and facilitate animal communities and wildlife movement through the City.
- Greenways will provide passive recreational trail opportunities to Lakeville residents and may include conservation areas, wildlife management areas, farm acreage, regional parks, etc.
- The greenway system is a key component in the design and planning of the central area of Lakeville. The physical features of the area of the City provide a unique opportunity to integrate parks, greenways, linear parks, and trails with urban subdivisions.

Chapter Five

Analysis & Recommendation

Overview

This chapter provides the analysis of future park, trail and open space needs along with recommendations for addressing these needs. This chapter applies the park, trail and open space classification standards and policies outlined in previous chapters of this plan to the growth and land use expectations identified in the Lakeville 2008 Comprehensive Plan. In analyzing future facility needs through 2030, consideration was given to the following factors:

- Comparison of growth against national park standards
- Continued integration of school facilities within the Lakeville park and trail system to avoid duplicate investment in park and recreation facilities
- On-going development and upgrade in the trail system to improve access to City parks and expand the service areas of existing or planned facilities
- Integrate the analysis of park needs with the Comprehensive Land Use Plan to identify park, trail and open space needs based on future land use, population growth and distribution, transportation planning, MUSA staging, and environmental protection.

Park Facility Standards

The table which follows, Park Facility Standards, summarizes by activity the recommended physical design standards, per capita recommendations and service radius for a wide variety of recreational activities. While these standards can be applied to existing conditions, their real asset is as a planning tool in guiding decision-makers in establishing needs for future park areas.

Comparison with National Norms

The following analysis provides a comparison of Lakeville's park system with standards established by the National Park and Recreation Association. The national standards provide the foundation for the City's park standards pertaining to park classification service areas and per capita acreage. This comparison provides a general benchmark for evaluating the adequacy of the existing system as well as forecasting future need. Following this general comparison, a more detailed evaluation of the City's various park classification and search need was conducted to address park and recreation issues unique to Lakeville.

PARK FACILITY STANDARDS						
Activity/Facility	Recommended Space Requirements	Recommended Size and Dimensions	Recommended Orientation	Number of Units Per Population	Service Radius	Location Notes
Basketball	2,400-3,036 SF	Full Court: 46' - 50' x 84' with 5' unobstructed space on all sides Half Court: 40' x 40'	Long axis north-south	Full Court: 1/city plus 1 per 5,000 people or Half Court: 1/city plus 1 per 2,000	¼ to ½ mile	Usually in school, recreation center, or church facility. Safe walking or bike access. Outdoor courts in neighborhood & community parks, plus active recreation areas in other park settings.
Ice Hockey	22,000 SF incl. support area plus parking	Rink 85' x 200' (minimum 85' x 185') additional 5,000 SF support area	Long axis north-south	Outdoor – 1/city plus 1/3,000 people	10-15 minutes travel time maximum	Best as part of multi-purpose neighborhood park.
Free Skating	Minimum 20,000 SF	Varies	None	1/city plus 1 per ¾ to 1 mile radii	¾ - 1 mile	Usually in neighborhood park.
Tennis	Minimum of 7,200 SF single court (2 acres for complex)	36' x 78' 12' clearance on both sides; 21' clearance on both sides	Long axis north-south	1 court per 2,000 people	¼ - ½ mile	Best in batteries of 2 or more. Located in neighborhood/community park or adjacent to school site.
Volleyball	Minimum of 2,000 SF	20' x 60' Minimum 6' clearance on all sides	Long axis north-south	1 court per 5,000 people.	¼ - ½ mile	Same as other court activities (e.g., basketball, etc.)
Baseball 1 – Official 2 – Little League	Minimum 3.0-3.85 AC Minimum 1.2 AC	- Base lines – 90' Pitching dist. 60½' Foul lines min. 320' Center field 400'+ - Base lines – 60' Pitching dist. 46' Foul lines 200' Center field 200'-250'	Locate home plate so pitcher throwing across sun & batter not facing it. Line from home plate through pitcher's mound run east-north-east.	1/city plus 1 per 6,000 plus lighted – 1 per 15,000 people.	¼ - ½ mile	Lighted fields part of community complex
Field Hockey	Minimum 1.5 AC	180' x 300' with a minimum of 6' clearance on all sides	Fall season – long axis NW to SW. For long periods, north to south.	1 per 20,000 people	Maximum 15 minutes travel time	Usually part of baseball, football, soccer complex in community park or adjacent to high school

PARK FACILITY STANDARDS, continued						
Activity/Facility	Recommended Space Requirements	Recommended Size and Dimensions	Recommended Orientation	Number of Units Per Population	Service Radius	Location Notes
Football	Minimum 1.5 AC	160' x 360' with a minimum of 6' clearance on all sides	Same as field hockey	1 per 20,000 people	15 minutes travel time	Same as field hockey.
Soccer	1.7 to 2.1 AC	195' to 225' x 300' to 360' with a 10' min. clearance on all sides	Same as field hockey	1/city plus 1/3,500 people	1-2 miles	Number of units depends on popularity. Youth soccer on smaller fields adjacent to schools or neighborhood parks.
Lacrosse	Same as soccer	180' x 300' to 330' with a 10' min. clearance on all sides.	Same as field hockey	1/city plus 1/3,500 people.	1-2 miles	Number of units depends on popularity.
Softball	1.5 to 2.0 AC	Base lines 65' Pitching distance – 55' for men, min. 40' for women Fast pitch field radius from plate – 225' between foul lines Slow pitch – 275' men 250' for women	Same as baseball	1/city plus 1 per 2,000 people	¼ - ½ mile	Slight difference in dimensions for 16" slow pitch. May also be used for youth baseball.
Multiple Rec. Court (basketball, volleyball, tennis)	10,000 SF	120' x 80'	Long axis of courts with primary use is north-south	1/city plus 1 per 2,000 people (may include basketball, tennis, and multi-use)	¼ - ½ mile	Should be located in neighborhood parks.
Par 3 (18 hole)	50-60 AC	Average length-vary 600-1,700 yards	Majority of holes on north-south axis	NA	15-30 minutes travel time	9 hole course can accommodate 350 people/day. 18 hole course can accommodate 500-550 people a day. May be privately owned
9 hole standard	Minimum 50 AC	Avg. length 2,250 yd		1/25,000 people		
18 hole standard	Minimum 110 AC	Average length – 6,500 yards		1/50,000 people		

PARK FACILITY STANDARDS, continued						
Activity/Facility	Recommended Space Requirements	Recommended Size and Dimensions	Recommended Orientation	Number of Units Per Population	Service Radius	Location Notes
Golf Driving Range	13.5 AC for minimum of 25 tees	900' x 690' wide, add 12' width for each additional tee	Long axis south-west-northeast with golfer driving toward northeast	1 per 50,000 people	15-30 minutes travel time	Part of golf course complex. As a separate unit, may be privately operated.
Disk Golf	15 to 18 acres	18 goals with 250 linear feet per goal	Orientation should be one-way on front nine goals and opposite direction on back nine goals.	NA	NA	NA
Archery Range	Minimum .65 AC	300' length x minimum 10' wide betw. targets. Roped clear space on sides of range min. of 30' clear space behind targets minimum of 90' x 45' with bunker	Archer facing north + or - 45 degrees	1 per 50,000 people	30 minutes travel time	Part of a regional/metro park complex or community special use facility.
Swimming Pools	Varies on size of pool & amenities. Usually ½ to 2 AC site.	Teaching – minimum of 25' x 45' even depth of 3-4 feet. Competitive- minimum of 25m x 16m. Minimum of 27 SF of water surface per swimmer. Ratios of 2:1 deck vs. water.	None – although care must be taken in siting of lifeguard stations in relation to afternoon sun.	1 per 20,000 people (pools should accommodate 3-5% of total population at a time)	15-30 minutes travel time	Pools for general community use should be planned for teaching, competitive and recreational purposes with enough depth (3.4m) to accommodate 1m and 3m diving boards. Located in community park or school site.
Beach Areas	NA	Beach area should have 50 SF of land and 50 SF of water per user. Turnover rate is three. There should be 3-4 acres supporting land per acre of beach.	NA	NA	NA	Should have sand bottom with slope of maximum of 5% (flat preferable). Boating areas completely segregated from swimming areas.

Source: National Recreation and Parks Association

Park Land Areas Compared With National Norms

The City of Lakeville has approximately 1,688.39 acres of park land. This figure is comprised of six community parks (543.3 acres), five community playfields (197.0 acres), 35 neighborhood and mini-parks (351.1 acres), ten special use parks (35.2 acres), and 28 greenways/conservancy areas (561.9 acres).

Summary of Park Acreage Within Lakeville				
Park Type	Total Acres	Active Acres	% of Total	Number of Parks
Community Parks	543.3	105	19.3%	6
Community Playfields	197.0	157.0	79.7%	5
Neighborhood Parks	342.8	211.6	61.7	27
Tot Lots/ Mini-Parks	8.3	7.0	84.2	8
Conservation Areas	432.2	0	0	22
Greenways	129.7	0	0	6
Special Use Areas	35.2	20.4	58.0%	10
Total	1,688.4	501.0	29.7%	84

School Sites Serve as Neighborhood Parks and Playfields

Lakeville also has worked very closely with the school districts that serve the City in providing local recreational facilities. The school sites serve to supplement the City’s community playfields and neighborhood park system. Through three School Districts, 10 elementary schools and a district education center are located in Lakeville. These sites have been blended into the residential neighborhoods and they serve a similar recreation function as neighborhood parks.

Middle and high schools provide five additional sites in Lakeville for outdoor recreation. These facilities typically provide playfields that supplement the City’s community playfields. The following table illustrates the Lakeville school sites by area. In examining available site plans for the various schools, it was determined that outdoor recreation facilities comprised between 30 to 50 percent of the elementary school sites and between 50 and 66 percent of the middle school and high school sites. These percentages were used to identify the range of acreage available for active outdoor recreation available at each site.

School Facility Active Play Areas		
Elementary Schools	Total Acres	Active Acres
Cherryview	19.7	6.5-9.8
Christina Huddleston	18.5	6.1-9.2
Crystal Lake Dist. Educ. Ctr.	22.0	7.3-11.0
Eastview	18.6	6.1-9.3
John F, Kennedy	25.0	8.2-12.5
Lakeview	23.6	7.8-11.8
Lake Marion	19.3	6.4-9.6
North Trail	26.5	8.0-13.2
Oak Hills	19.3	6.4-11.8
Orchard Lake	14.3	4.7-7.1
Parkview	13.0	4.3-6.5
Total Elementary Schools	219.8	71.8-111.8
Middle Schools		
Century	41.0	20.0-27.0
Kenwood Trail	84.0	42.0-55.0
McGuire	23.9	12.0-15.8
Total Middle Schools	148.9	74.0-97.8
High Schools		
Lakeville North	75.3	37.7-50.0
Lakeville South	108.1	54.0-71.3
Total High Schools	183.4	91.7-121.3
Total All Schools	552.1	237.5-367.7

Per Capita Park Acreage

Per capita park acreage national standards for each park classification are shown in the following table to help in determining active use area needed within a municipal park system. These standards indicate a range of park acreage for such active uses as ball fields, athletic facilities, play equipment, parking and similar developed uses. Passive or inactive conservation parcels are not considered by these standards and these respective use acreages should be subtracted from total areas before any comparisons are made.

**Per Capita
Park Acreage,
continued**

Usable, active park area use is reduced in most municipal parks due to a variety of constraints. Lakeville is no exception. The effective, usable area in virtually all of Lakeville’s parks must take into consideration natural limitations including wetlands, drainage basins, steep slopes and wooded areas. These factors obviously contribute to park aesthetics and provide passive conservation areas for the community, but reduce the effective usable area of a park for active recreation.

Per Capita Park Acreage Standards For Active Use Parcels	
	Acre/1,000 Population
Mini-Park	.25 - .5
Neighborhood Park	2.5 – 3.5
Athletic Field	2.0 – 2.5
Community Park	5.0 – 8.0
Total	9.75 – 14.5
SOURCE: NRPA; the acre range designated is considered minimum to desirable.	

Using this data and the number of existing active acres in Lakeville’s parks and school sites, recommendations have been made for future active area needs.

**Future Active
Recreational Needs**

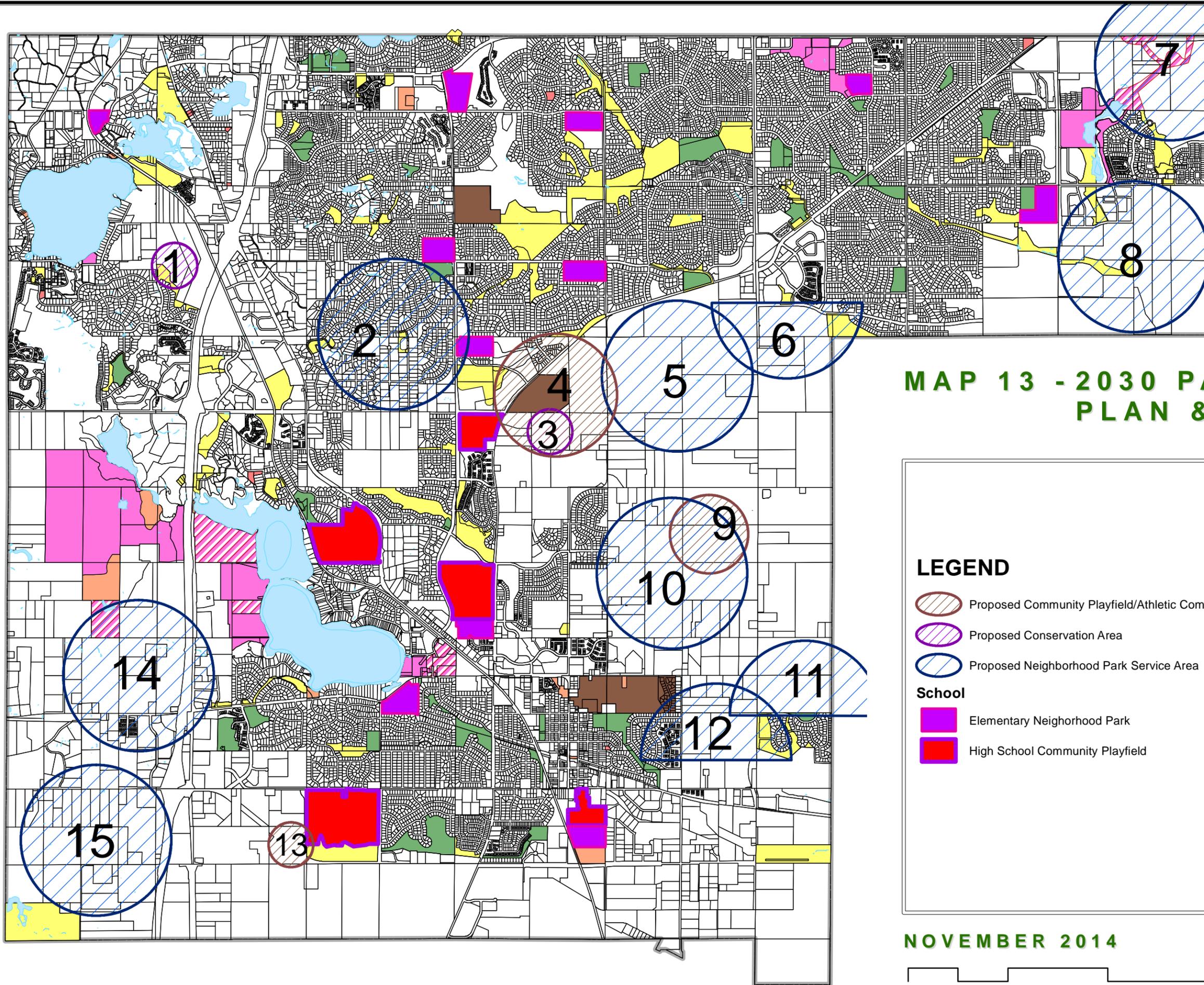
- Out of 1,688.4 acres of park land, 481 acres or 28.0 % is available for active play.
- Up to 331 acres of active recreational land is available within Lakeville through local schools.
- Combined, Lakeville’s parks and schools provide up to 811 acres of active play area.
- The combined area of all types of active recreation space in the City is sufficient to serve the 2010 population of 55,954.
- Continued residential growth through 2020 and 2030 will require the provision of additional parks. Particular attention must be given to the development and/or expansion of additional Community Parks (i.e. East Community Park) to meet future community needs. Acquisition and development of additional Neighborhood Parks as new development occurs is also a priority to ensure appropriate localized services and facilities based on service areas defined primarily by physical barriers.

Projected Active Area Recommendations					
	Functional Classification				
	Community Parks	Community Playfields²	Neighborhood Parks³	Mini Parks	Total
Per Capita National Std. Acres/1,000 Population	5.0 – 8.0 acres	2.0 – 2.5 acres	2.5 – 3.5 acres	.5 acres	
Existing Lakeville Parks: Number of Parks Active Area Acres	6 105.0	5 157.0	27 211.6	8 6.95	56 480.6
Existing Lakeville Schools: Number of Schools Total Active Acres	NA NA	5 219 ²	11 112 ³	NA NA	16 331
Total Active Area Parks & Schools	105	376	331		811
2010 Minimum Active Acreage Needs for Population of 55,954	280	112	140		532
Net Acres Needed (-deficit or +surplus)	-175	+264	+191		+279
2020 Minimum Active Acreage Needs for Population of 78,400	392	157	196		745
Net Acres Needed (-deficit or +surplus)	-287	+219	+135		+66
2030 Minimum Active Acreage Needs for Population of 88,800	444	178	222		844
Net Acres Needed (-deficit or +surplus)	-339	+112	+109		-33
Source: NPRA, City of Lakeville, The Planning Company LLC					
¹ Total acreage does not include special use, conservation areas, or greenways. ² Middle and high school facilities were included as Community Playfield facilities. ³ Elementary schools were included as Neighborhood Park facilities. ⁴ Because the City is not focused on the establishment of additional mini-parks, and given the function of existing mini-parks to serve the immediately surrounding neighborhoods/developments, they were included in Neighborhood Park calculations.					



CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN

MAP 13 - 2030 PARK SYSTEM
PLAN & SERVICE AREAS



LEGEND

- | | | | |
|--|---|----------------------------|---------------------------------------|
| | Proposed Community Playfield/Athletic Complex | Park Classification | |
| | Proposed Conservation Area | | Community Park |
| | Proposed Neighborhood Park Service Area | | Community Play Field/Athletic Complex |
| | Elementary Neighborhood Park | | Mini-Parks/Neighborhood Play Lot |
| | High School Community Playfield | | Neighborhood Park |
| | | | Conservation Area |
| | | | Special Use Area |
| | | | Neighboring City Park |
| | | | Community Park Expansion |

NOVEMBER 2014



Classification and Description of Future Park Areas			
Proposed Park # (Map 13)	Park Classification	Planning District Reference	Description
1	Conservation Area and/or Neighborhood Park	1	A conservation search area adjacent to an existing wetland, west of Orchard Lake Elementary. Opportunity for a small park area west and south of the Queen Anne Manufactured Home community.
2	Neighborhood Park	2	Neighborhood Park potential on the Dakota Heights water tower property that is currently underutilized.
3	Conservation Area	2	Directly south of King Park is one of the last native stands of Oak forest in the City which should be preserved.
4	Community Playfield	2	Community Playfield search area for future expansion of King Park to accommodate additional playfields and parking.
5	Neighborhood Park	3	Neighborhood Park search area within a 200+ acre planned neighborhood community, called Avonlea, which should directly access or encompass planned greenways in this location.
6	Neighborhood Park	3	Neighborhood Park search area adjacent to an existing City storm water ponding area which will serve the existing and future surrounding area low to high density land uses.
7	Greenway and Neighborhood Park	11	Already approved as part of the Brandtjen Farm development, this Neighborhood Park and Conservation Area will accommodate the future North Creek Regional Greenway and will provide direct connection to East Lake Community Park.
8	Neighborhood Park	11	A Neighborhood Park search area in close proximity to or integrated with North Creek Regional Greenway and also to provide a storm water ponding area.
9	Community Playfield	12	Search area for playfields or an athletic complex to accommodate the continually growing league play of both children and adults.
10	Neighborhood Park	5/12	This Neighborhood Park search area should accommodate regional greenways and be integrated with conservation areas along existing drainageways/future development.

Classification and Description of Future Park Areas, continued			
Proposed Park # (Map 13)	Park Classification	Planning District Reference	Description
11	Neighborhood Park	12	Expansion of the existing neighborhood park in the Spyglass development and to accommodate the planned greenway/conservation area along an existing drainageway.
12	Neighborhood Park	12	This Neighborhood Park search area will follow the planned greenway east from Downtown Lakeville as infill development occurs progresses toward the Spyglass area.
13	Conservation Area	6	This area should accommodate the South Creek/Lake Marion Regional Trail, preserve South Creek and provide additional parking for Lakeville South High School events with safe pedestrian connection to the school site.
14	Neighborhood Parks	6/10	Future establishment of two Neighborhood Parks which would connect to the community greenway planned between Ritter Farm Park and Soberg Waterfowl Production Area.
15			

Community Parks**Park Facility Needs**

Lakeville's park classification and policies establish the following service parameters for community parks.

Service Area: Community-wide

Per Capita Standard: Five to eight acres per 1,000 population.

Desirable Size in Acres: Minimum size 25 acres with 50 to 100+ acres desirable.

Lakeville has been successful in establishing significant community parks taking advantage of unique natural settings within the community. As summarized in preceding paragraphs, analysis of active park area acres indicates the need for expanded community park areas for the growing population and increasing with future growth to 2030. To address current and future community park needs, the following recommendations are offered:

1. The recently acquired and partially developed 40 acre East Community Park serves to balance the City-wide distribution of community park facilities. It connects to the Spirit of Brandtjen Farm development where a 4 acre neighborhood park is planned along the North Creek Regional Greenway. This future greenway corridor will extend northeast from the park area to connect with Apple Valley via an existing box culvert under CSAH 46.
2. As the opportunity presents itself, it is a high priority to expand Antlers Park to the east through park land dedication, acquisition, or future park dedication credits associated with the development of adjoining land along Highway 50.
3. Pursue the acquisition of the land between Casperson Park and West Lake Marion Park, as well as the land located along Lake Marion north of Casperson Park, to establish a contiguous community park along the entire western shoreline of Lake Marion and create a master plan for West Lake Marion Community Park.

Community Playfields

4. Pursue expansion of Ritter Farm Park to the south through park dedication or acquisition and expand community recreation at Ritter Farm Park opportunities through nature programs and themed special events. Possible future development ideas include a visitor or nature center, reproduction farmstead with animals and use of a portion of the park as a Boy Scout camp with platforms for tents.
5. Increase accessibility and utilization for both Casperson and Ritter Farm Park through improved trail connections.

Lakeville's park classifications and policies establish the following service parameters for community playfields:

Service Area: Community-wide.

Per Capita Standard: Two to two and one-half acres per 1,000 population.

Desirable Size in Acres: Minimum 20 developed acres, maximum 60 developed acres.

Lakeville's five community playfields include 197 total acres and 157 active acres. City facilities in conjunction with school facilities provide 375.3 to 322.7 active acres, which is well beyond the forecasted 2030 need. Although the City's available playfield acreage exceeds projected needs, issues and opportunities exist for playfield improvements that can expand the utilization of existing facilities to meet the growing needs of the City's sport organizations. The local athletic associations have each strongly complimented the conditions and availability of the Lakeville playfields. These groups also identified future needed enhancements leading to the following recommendations:

1. Each athletic association indicated that cross use facilities have not worked. They cite the wear and tear on the playfields from differing sport facilities deteriorated the facilities for each sport. The second issue related for cross use facilities is scheduling conflicts between sports. Segregation of the different sporting activities similar to the City's past practices (Michaud Park-soccer, King Park-baseball, Aronson Park-softball) have been effective and should continue to be pursued.

2. The provision of field lighting will be pursued to expand the utilization of existing playfield facilities. This improvement will allow for extended user hours and expanded league play. Field irrigation along with improved turf management will be required to compensate for the wear and tear that extended user hours will have on the turf.
3. Community playfield facilities that allow for tournament play are desired by the athletic associations. Tournaments offer opportunities for City promotion and provide the athletic associations the opportunity for fund raising. Funds generated through athletic associations tournaments assist both in financing association operations and physical improvements within the City's community playfields.
4. Lakeville playfield facilities offer this opportunity with the following improvements:
 - a. Lighted fields to extend user hours.
 - b. Fencing of baseball and softball field to provide segregated field play.
 - c. Expanded bathroom facilities within the community playfields.
 - d. Spectator facilities, benches, concessions, bathrooms.
 - e. Playfield storage facilities.
 - f. Provision of adequate parking.
 - g. Installation of automatic irrigation facilities.
 - h. Rehabilitation of older buildings (i.e., Aronson Park) must be undertaken in the near future.
5. Each sports league is experiencing growth resulting in increased user pressure on existing facilities. This trend will continue with on-going residential development. To address future needs, it is desirable to expand existing facilities rather than create new playfields. Expansion opportunities that should be pursued should include:
 - a. Expansion of Village Creek Park should be planned with the eventual development of additional soccer and/or softball facilities and also additional parking.

Neighborhood Parks & Mini-Parks

Lakeville's park classification and policies outline the following service parameters for neighborhood parks.

Service Area: Approximately one-half mile radius uninterrupted by principal roadways or major physical barriers. Secondary service to residences within three-quarter mile radius.

Per Capita Standard: Two and one-half to three and one-half developed acres per 1,000 population.

Desirable Size in Acres: Maximum park size of 8 to 20 acres with seven to ten acres developed for active functions. The remainder may be passive or provide other functions.

Neighborhood parks are intended to provide the primary facility for neighborhood recreation. Mini-parks will be utilized to supplement the neighborhood park system within residential areas isolated by physical barriers or access constraints that prevent use of larger neighborhood parks. Lakeville's park classifications and policies outline the following service parameters for mini-parks.

Service Area: Less than one-quarter mile radius preferred. One-half mile radius in select circumstances.

Per Capita Standard: One-quarter to one-half an acre per 1,000 population.

Desirable Size in Acres: Minimum size one to five acres.

By year 2030, Lakeville will have needs of between 222 and 355 active acres of neighborhood parks. Lakeville's existing neighborhood and mini-parks provide approximately 218 acres of active park land. Lakeville elementary schools provide an additional 72 to 112 acres of active recreation land. Collectively, these facilities meet the forecasted area needs of the City beyond 2020 and approaching 2030. However, the distribution of existing facilities does not address all the growing service areas of the City. New neighborhood park facilities must continue to be acquired and developed within the new growth areas of Lakeville. New park development or redevelopment of existing parks should be consistent with the desired service level and tailored to suit the neighborhood it serves rather than generalized needs of the community.

Planning Districts

To provide a detailed examination of Lakeville's neighborhood park needs, the City has been divided into twelve planning districts. The districts are consistent with those used within the 2030 Comprehensive Land Use Plan. Within these park planning districts, the park and trail needs were examined in relation to population growth, proposed land use, and transportation recommendations. Within each district, geographic-specific recommendations have been provided addressing neighborhood park and trails. Appendix B also provides specific recommendations for individual parks.

Special Use Parks

These facilities are defined as those which provide special activities, unique built environments or single purpose events fit in this classification. Special needs parks are a unique opportunity to create a sense of place and connection to the community, which also can be a signature element of the Parks, Trails and Open Space System defining the image and quality of life within the City. These facilities should respond to distinct markets, demands or opportunities within the community. Characteristics vary widely in response to the facility, its site, and the demand responded to.

Examples may include destination facilities within a larger park or independent operations. Uses typical of this special designation include dog parks, public or private golf courses, nature centers, conservatories, arboretums, gardens, fishing piers, amphitheaters, cross country ski areas, splash pads/water amenities, frisbee golf or fitness challenge courses. Locations will be dictated by the use's specific needs for unusual physical characteristics such as topography, water features, vegetation or soils; or those uses which need to be buffered or kept independent of developed areas.

The community should focus on opportunities to develop special use parks and facilities as the Parks and Trails system continues to develop and mature. Opportunities exist to add amenities within existing parks or repurpose existing parks where the characteristics of the service area have changed creating needs for new or diverse recreation facilities while also creating interest for park users to visit parks throughout Lakeville.

**Greenways/Linear
Park Development**

The Comprehensive Plan encourages the creation of greenways as a means of protecting the community's natural resources and preserving open space. Greenways are intended to be a combination of linear parks and conservancy areas and they have been incorporated into 2030 Park and Trail System Plans wherever appropriate. The greenways will accomplish the following functions:

1. Preserve areas of contiguous open spaces as a means of maintaining the City's natural features, defining urban land use patterns and neighborhoods, and connecting community parks with protected natural open spaces.
2. The greenways preserve the ecological functions of the City's environmentally sensitive areas, including but not limited to wetlands, waterways, lakes, wood stands, etc. The establishment of greenway buffers along the City's tributaries serves to promote water quality within the streams through storm water filtering and infiltration. Urban land uses are allowed at the periphery of the greenways with subdivisions and site design that preserve the vistas into the greenways. Infrastructure planning (i.e., street and utilities) is designed so as to have the least disruption possible of the greenway.
3. The greenways provide a diversity of natural features and habitat. The greenways provide for wildlife habitat and to facilitate wildlife movement through areas dominated by human activities. In this respect, the greenways have been configured to include both low lands and upland areas.
4. The greenways are intended to provide recreational trail opportunities to Lakeville residents. This allows all community residents the opportunity to enjoy the natural amenities of Lakeville. The City will pursue additional greenway corridors in conjunction with new development requests along the balance of the City's tributaries.
5. Where compatible and appropriate, the City will attempt to provide snowmobile trail corridors within future greenways providing user connections between the City's urban and rural areas. Snowmobile compatibility will be evaluated on the basis of environmental impacts as well as land use nuisance concerns to determine if a corridor will be appropriate within a given greenway.

6. Greenway size will be determined based on the area needed to properly protect existing environmental features as well as provide for linear parks and trails. Minimum recommended corridor width desired is 100 feet.

The greenways proposed follow corridors characterized by tributaries, drainageways, wetlands, floodplains, hydric soils and wooded areas. The linear design is intended to integrate greenways with the balance of the park and trail system as well as the 2020 Land Use Plan. Implementation of greenway planning will focus on the purpose of the greenways, but also to existing property ownership patterns and adjoining land uses. The following strategies have been outlined for the implementation of the greenway planning:

1. All greenway corridors indicated on maps herein will be further defined in conjunction with adjoining land development. The size and configuration of the greenways will be reflective of the stated greenway functions. The greenway corridor will provide both environmental protection and recreational enjoyment. In this respect, the greenway must include both environmentally sensitive areas and buildable upland areas.
2. The City will utilize a variety of methods for preserving greenways including: protection through enforcement of development regulations, platting wetlands as outlots, acquisition of greenways through developer dedication or donation, and tax forfeiture procedures. The City may utilize park land dedication for acquisition of buildable upland portions of the greenway.
3. The City will seek grants and aids available through the region and state for the acquisition and creation of greenway amenities.
4. Trailway design may vary within greenways to reflect the natural setting, potential environmental impacts on the greenway, and user characteristics.
5. The City will create a community-wide awareness of the value and importance of the proposed greenways and encourage residents to participate in their creation, beautification and maintenance.

Trails System

The 2014 Parks, Trails and Open Space Plan will implement a new classification system for trails. The new classification system will allow differentiating the trail types by function related to recreation and transportation functions. These new classifications when color coded on a map also helps users to visually see the loops and connecting segments with park facilities and community destinations. From a planning perspective, the new classification system also allows the Parks, Recreation and Natural Resources Committee and the City Council to view the interrelated functions of the trails together with park facilities, greenway corridors and school locations to outline priorities for development and avoid duplicative routes for greater efficiency and lower long-term maintenance costs.

1. Regional corridors are those trail segments that provide connectivity between Lakeville and destinations within surrounding communities and include those trail corridors as identified by the Metropolitan Council as part of the 2030 Regional Framework.
2. Destination trails are paved trails for walking, jogging, bicycling, and in-line skating located within a greenway corridor or other open space. These trails comprise the linear park system and are intended to serve primarily a recreation function.
3. Transportation corridors emphasize safe travel for walking jogging, bicycling and in-line skating between major community activity nodes and destinations. These are typically grade separated trails within the public right-of-way adjacent to major roadways and serve a transportation function as an alternative to automobiles.
4. Trails and sidewalks provide connections for walking, jogging, bicycling and in-line skating between individual neighborhoods to access parks, greenways and the trail system around the City and to provide safe routes to schools.
5. The City formed the School Road Safety Task Force in 2014 to address the ability of students to safely walk and bike to and from school along City and County roadways. The evaluation process included technical presentations by City and Dakota County staff, School Districts, busing service providers and observations of the Task Force members. The report of the School Road Safety Task Force, approved by the City Council in June 2014, includes a prioritized list of recommend for pedestrian and trail improvements to

improve student safety. The School Road Safety Task Force recommendations will be used by the Parks and Recreation Department as an implementation tool for the Parks, Trails and Open Space Plan as part of the City's annual project and capital improvement planning efforts.

6. Trails are to be constructed concurrent with new development and construction of City, County or State roadways. The City will also identify as part of its Capital Improvement priority for development of incomplete segments of the trail system needed for access to major destinations within the City, connectivity of isolated neighborhoods and safe routes to schools.
7. When planning for construction of specific trails, consideration will be given to opportunities for connections between trail segments and greenway corridors that will allow for reduced development and long-term maintenance costs.

Implementation

The 2014 Parks, Trails and Open Space Plan establishes a policy framework for a community-desired parks and trails system desired by the community that will continue to be a primary contributor to the high quality of life enjoyed in Lakeville. The development of the parks and trails system must be realized over time, concurrent with development and available resources for facility construction, operation and maintenance. This section establishes guidelines based on the policies of the 2014 Parks, Trails and Open Space Plan to guide the implementation process.

1. Lakeville is transitioning from a growing community to one that is balanced between mature neighborhoods and continued new development. Park and recreation needs for developing areas of the City will likely be consistent with current facility, operation and maintenance needs. Facilities within older areas of the community will require increased maintenance and planning for replacement and redevelopment.
2. Opportunity to expand and improve the parks and trails system are many. However, implementation of the 2014 Parks, Trails and Open Space Plan will require establishing priorities based on the investment required in land acquisition, facility development, as well as on-going maintenance expenditure throughout the usable life of a

facility. The cumulative cost of the parks and trails system must be considered as it relates to prioritizing improvements as part of the City's Capital Improvement Plan.

3. Implementation of the 2014 Parks, Trails and Open Space Plan will be based on several criteria. Community demand may trigger action based on an identified need through assessment studies, surveys and recreation trends. Or improvements may be necessitated by a facility being deemed to be in an unsafe condition or at the end of its usable life. Finally, planned or existing development patterns or demographic profiles for the community or individual neighborhoods will affect service needs for facility development and replacement or redevelopment of existing facilities. Opportunities to preserve natural resource amenities will also arise that require planning as part of the park and trail system. Funding will remain, however, a primary determinant as to the timing for implementation of the Parks, Trails and Open Space Plan.
4. Funding for implementation of the 2014 Parks Trails and Open Space Plan for facility development will continue to rely on traditional funding sources including park dedication fees and funds allocated from property taxes for operations to maintain a desired level of service, as well as facility development. The Parks and Recreation Department will also continue to explore opportunities for funding through partnerships and grant programs. The City will continue to monitor support for alternative funding options, including referendums, where such monies could be allocated to major improvement projects, community oriented facilities or signature system elements.
5. Ongoing operations and maintenance is an annual budget expenditure funded primarily through property taxes. Funding for operations and maintenance must be consistent with continued investment in development of the parks and trails system. As such, the City must define potential increases in operation and maintenance costs as part of all improvement projects and include these expenditures in future budgets.

Chapter Six**Recreational System Policies for:
Parks, Greenways, Trails, Open Spaces, Natural Resource
and Conservation Areas**

Since its incorporation in the late 1960s, the City of Lakeville has maintained a tradition of planning for the future plus managing its growth through a progressive comprehensive planning program. This management technique continues to guide the City decision-makers in addressing private development proposals, as well as in providing community facilities and services. Parks, trails and open space are of the most prominent of these facilities providing an important amenity for the community and a major factor in quality of life. In carrying on this progressive management approach, periodic updates of plans and programs have been required in order to maintain responsive positions and adequate preparation for community needs.

Such is the current situation involving the City's overall parks and recreation system and this seventh edition of the Parks, Trails and Open Space Plan. An updated Policy Plan portion of the Lakeville Parks, Trails and Open Space Plan is presented in this section. This updated plan is based upon previously established planning documents plus expanded topic areas identified as part of this most recent effort to address the City's changing condition and the maturation of the community and the park and trail system within.

The context of the overall Lakeville Parks, Trails and Open Space Plan and the Policy Plan sub-component must be recognized. The City's Comprehensive Plan, comprised of a Policy Plan and Development Framework, defines the overall parameters for community change and growth management. The physical aspects of the community involving the natural environment, land use, transportation and community facilities/services are addressed in a fundamental, but broad based approach. From this basis, more detailed, system plans focusing upon specific topics, such as parks, trails and open space, are established.

The Policy Plan chapter of the Parks, Trails and Open Space Plan outlines in written for what the community desires to achieve in terms of its parks, trails and open space system. The Policy Plan does so through generalized guidelines as to how such goals and objectives are to be pursued and realized. With the establishment of these guidelines, attention can be directed toward specific acquisition, development, maintenance and upgrade of physical facilities as well as outlining parameters for recreation programming.

Parks, Trails, Open Space and Recreational System Standards:

1. System planning in the City of Lakeville shall be a dynamic process that organizes and addresses all activities in a comprehensive manner.
2. Lakeville Parks, Trails and Open Space plan shall utilize a needs assessment process to develop goals and priorities for programs, acquisition, development, and use of parks, conservancy open space areas and recreational facilities with information about the City's present and future park and recreation needs will be collected and evaluated on a regular basis, in part through bi-annual meetings with all major athletic associations or other park user groups.
3. The various components of the Lakeville parks, trails, and open space system shall be integrated in a manner that maximizes utilization of existing facilities, economizes future investments and reduces duplication of facilities and services where possible.
4. The Parks, Trails and Open Space Plan shall promote active and healthy lifestyle principals into all planning and public/private initiatives in the community.

Parks, Trails, Open Space and Recreational System Policies:

1. Planning for recreation programs and new physical facilities will begin prior to land being developed for residential, commercial, and industrial activities as part of the subdivision review process. The City will prepare a master plan for each component of the park and trail system that will be the basis for site acquisition, development and use
2. The Parks, Recreation and Natural Resources Committee will provide a forum for open discussion of issues to insure early and continuing public participation in park planning, rather than review of decisions already made to continue to facilitate public awareness and encourage input on all aspects of parks, trails, open space and recreation.
3. The Parks, Trails and Open Space Plan will be based upon directions established by the Comprehensive Land Use Plan and be implemented through integration with other City activities involving private growth management and provision for other public facilities and services.
4. Review and update the Parks, Trails and Open Space Plan periodically, including standards, policies, and inventory as significant changes or regional requirements mandate.

General Recreational System Outreach Standards:

1. The Parks and Recreation Department shall provide comprehensive park and recreation programs and facilities for all residents and groups of the community.
2. Programs and facilities shall be organized and offered so as to maximize participation and overcome physical or economic limitations that may serve to prevent equal opportunity.
3. The City's recreational program shall avoid duplication of efforts by other public or private service providers. Coordination with other public and private providers is encouraged.

General Recreational System Outreach Policies:

1. Parks and Recreation administration and operations will be implemented based on City Council and Parks, Recreation and Natural Resources Committee policies, procedures and ordinances.
2. Besides the standard programs and facilities typically recognized in a recreational/parks/trail system, equitable consideration will be devoted, but not limited to, the following special concerns:
 - a. Areas for natural interpretation, conservation easements, greenway corridors and trails.
 - b. Historic preservation.
 - c. Cultural enrichment (e.g., Lakeville Area Arts Center)
 - d. Urban areas parks (e.g., Central Business District).
 - e. General access and specific facilities for disabled persons.
 - f. Employment center public activity areas and facilities.
 - g. Organized youth and adult sports and recreational activities.
 - h. Areas devoted to free play or leisure enjoyment.
 - i. Teen programs and facilities (e.g., Teen Corp).
 - j. Senior programs and facilities. (e.g., Lakeville Heritage Center)
3. Use of all public parks and recreational facilities will be carefully monitored to insure control and proper use so that all residents may enjoy them for leisure time activities.

4. The City will coordinate its recreation programs and related facilities wherever practical with other providers, both public and private, such as the School Districts, community education, civic organizations, health clubs, neighboring cities, athletic associations, cultural arts organizations, etc.
5. User fees will be charged where appropriate for participation in certain recreational programs as a means of defraying costs.
6. A comprehensive year round recreation program designed to meet the leisure time needs and interests of the citizenry will be provided and encouraged.
7. The talents and skills of volunteers, City staff and consultants, as needed, will be utilized for the delivery of parks and recreation services.
8. Gifts and donations for recreation programs and supplies will be accepted if they are free of obligations or impacts which limit later use (by a condition of the gift), do not offend other segments of the community, or which do not come with a hidden or delayed price tag which can't be justified as being in the City's best interest consistent with City policies.
9. Lakeville will provide the highest quality program supervision and leadership available within budget guidelines.
10. All programs will be constantly reviewed and evaluated to keep abreast of changing times and new ideas.
11. Private recreational programs and facilities that offer opportunities to Lakeville citizens will be encouraged and supported.

Park Standards - Park Acquisition:

1. Acquire sufficient land to meet the long-range parks and recreation needs for the people of Lakeville. Careful consideration shall be given to the location, type and extent of park lands and conservancy open space areas acquired by the City to assure a parks and open space system that will satisfy the needs of present and future residents of the City based on the policies established by a system plan.
2. Park land and greenway/conservancy open space shall be acquired through park dedication, purchase, eminent domain, or donation. The acquisition of less than fee simple interests, such as permanent conservancy easements or leases, shall be undertaken whenever appropriate.
3. Environmentally sensitive areas with natural or cultural resources will be included in lands acquired for park land or conservancy open space wherever possible when they exhibit characteristics which will contribute to the overall system.
4. The acquisition of public facilities shall take into account and recognize private facilities and services that are offered in order to avoid unnecessary duplication and conserve public financial resources.

Policies - Park Acquisition:

1. The acquisition of planned parks, greenway/conservancy open space and other recreational facilities shall be accomplished as soon as possible within developing areas of the City to meet long range public recreation needs before development pressures render the property too expensive.
2. All park and open space land acquisitions shall be reviewed by the Parks, Recreation and Natural Resources Committee and they shall make recommendation on such matters to the City Council.

3. Private developers and Dakota County CDA shall be required to dedicate a portion of their land for public use when a proposed development includes an area planned for park acquisition in accordance with the system plan. Where dedication of land is not to be required, the developer shall contribute cash to be used for the purchase and/or development of public parks and open space.
4. Land dedications that serve no system purpose shall not be accepted as part of required development contributions but may, however, be accepted as a donation or a gift in accordance with other City policies.
5. Unsolicited donations and gifts will be accepted as part of the system if they are free of obligations or impacts which limit later use (by a condition of the gift), do not offend other segments of the community, or which do not come with a hidden or delayed price tag for development, operation, or maintenance which cannot be justified as being in the City's best interest or within financial resources which are available.
6. Land included in drainage and/or utility easements or deeded to the City for other public purposes will be utilized where feasible to provide safe and convenient public access via trail links throughout the City.
7. Grants-in-aid will be sought to help finance the acquisition of park land, conservancy open space, trails, greenways and recreational facilities to the extent possible to implement and develop the parks, trails and open space system.
8. Acquisition of high amenity and unique landscape areas will be sought as a priority in the development of the park system and may include lake frontage, waterways, ponds, streams, deciduous and conifer forests, native prairie, bluffs, other unique vegetative associations, or areas of rugged topography with quality views and vistas.
9. Joint use agreements between the City of Lakeville and other governmental entities will be pursued and developed when appropriate to maximize efficiencies and effective use of public resources.

10. Private development of recreational activities shall be encouraged so as to limit the need for public acquisitions with assurances for public or semi-public access if these facilities are relied upon in place of the same public services or facilities.

Standards - Park Development:

1. The City shall develop a comprehensive system of safe, aesthetically pleasing parks, playfields, trails, greenway corridors and conservancy open space areas geographically located throughout the community that offer a full variety of facilities and programs to all residents of the City.
2. Development of recreation facilities shall be appropriate to the areas in which they are located, both with respect to their integration into the social characteristics/physical setting and the remainder of the City's park system and as to their potential for creating conflicts with neighboring property owners.

Policies - Park Development:

1. Improve and expand parks located in developed areas with inadequate facilities, utilizing existing City properties where possible.
2. Include conservancy open space areas/ greenways as part of park development wherever practical that preserve and protect existing forests, wetlands, natural areas, lakes, streams and cultural or historical resources within the City.
3. Active use recreation areas should be designed for diverse uses during all seasons of the year wherever possible.
4. Park and playground buildings and sites shall be compatible with surrounding urban or rural activities in regard to scale, design, color, setback and materials.
5. Park development shall minimize impact upon adjoining development through provision for, but not limited to:
 - a. Adequate off-street parking.

- b. Appropriate orientation and location of activity areas and buildings.
 - c. Screening, buffering and landscaping.
 - d. Adequate setbacks and physical separation.
 - e. Appropriate lighting (90-degree, full cut-off).
6. Complete development of existing parks and recreation facilities in the City will be considered prior to developing new facilities.
 7. Facility development and related services will be coordinated with the needs of community residents and related services as provided by the Parks, Recreation and Natural Resources Committee, athletic associations, civic groups, and organizations.
 8. Park planning and construction will be associated with the definitions of park classification, regulation dimensions, and development standards.
 9. Preserve a site's inherent physical amenities and attributes when planning and developing park facilities.
 10. Maximize park accessibility through site design to best serve area residents.
 11. Consider long term costs of maintenance and operation in facility design as part of the planning process.
 12. Resident preference will be considered on the utilization of park facilities located in Lakeville under municipal management and operation.
 13. Encourage beautification and aesthetic enhancement of public facilities and open spaces through placement of public art.

Standards - Maintenance and Operation:

1. The Parks and Recreation Department will provide for the efficient maintenance and operation of clean, orderly, controlled, safe and attractive park lands and recreation facilities.
2. Park maintenance and operations shall safeguard the physical condition of parks and open spaces from deterioration or damage from weather, vandalism, and other natural or human causes.
3. Use park and recreation facilities for their originally intended purpose, or to provide for compatible new uses that will require minimum alteration of the park or recreation facility.

Policies - Maintenance and Operation:

1. The City will provide effective management and staffing of all of its facilities through the annual budget process to ensure delivery of quality recreational experiences to park users.
2. Public facilities and services will be maintained according to generally accepted standards of performance.
3. Operational standards and practices will be governed by the "Maintenance Standards Systems Manual" and the manual shall be periodically reviewed and updated.
4. A safe and sanitary environment shall be established and maintained for all physical facilities within the system with user safety as the greatest priority.

Standards – Trail Acquisition:

1. Careful consideration shall be given to the type, location, and extent of trailway corridors acquired by the City to insure that the City's comprehensive trail systems will satisfy the recreational and transportation needs of the residents on both a neighborhood and community-wide basis and to ensure maximum utilization of facilities and efficient long-term maintenance.
2. Land for trails shall be acquired primarily through right-of-way dedication and development related street construction, dedication of greenway or other off-street trailway corridors, purchase, eminent domain or donation. Trail acquisition through subdivisions shall be by means of dedication of outlots. Acquisition of less than fee simple interests such as easements or leases shall be undertaken whenever appropriate.
3. Acquisition of trail corridors shall take into account privately owned/maintained facilities and related destinations which should be included in the comprehensive trail system so as to avoid any duplication and to conserve financial resources.

Policies – Trail Acquisition:

1. All trail acquisitions shall be reviewed by the Parks, Recreation and Natural Resources Committee and they shall make recommendations on such matters to the City Council.
2. Assure adequate public right-of-way is provided and dedicated for sidewalks and trails during the subdivision process.
3. In cases where the City must pursue direct acquisition, finances may come from donations, park dedication funds, capital improvement program, bond issuance and by grant programs when appropriate.
4. Trail corridors that divide long blocks in residential subdivisions, provide access to parks or other public areas will be dedicated as outlots. Developers shall be responsible for installation of trails in corridors to prescribed specifications.

Standards - Trail Development:

1. The City shall create and maintain an attractive, diverse, and interesting system of urban and rural trails including, but not limited to, natural trails, sidewalks, trailways, destination trails, regional trails, hiking paths, snowmobile trails, cross-country ski trails, and equestrian trails that encourage integration of a variety of compatible, non-motorized uses for recreation, pedestrian access and alternatives to automobile transit.
2. The City-wide trail system will be designed to minimize potential conflicts between trail users and motor vehicles in order to ensure the safety of the trail users and motorists alike.
3. In an effort to minimize construction costs, trails, where designated, are to be constructed in conjunction with State, County and City street improvements.

Policies - Trail Development:

1. Priority for trail development by public or private action will be given to the following areas:
 - a. Trails along or crossings of major collector and arterial streets that have to provide the most direct access to trail destination and that will serve the most intensely used commuter destinations.
 - b. Trail construction within existing major parks and playfields.
 - c. Plan for trail inclusion in appropriate new park development.
 - d. Trails that will link together portions of Lakeville's trail system and Lakeville's trail system to other communities.
 - e. Trail construction within greenways.
 - f. Trail construction in conjunction with State, County and City road improvements and upgrades.

2. Work with the appropriate authorities to utilize available railroad and utility rights-of-way for trails when available and appropriate.
3. Finance the development of Lakeville trails system through private development, capital improvement programs, bond referendum funds and park dedication funds augmented by donations and grant programs whenever possible.
4. Developers or landowners adjacent and along street projects, major collector or arterial streets and greenway corridors shall be responsible for construction of the trail. The City of Lakeville may at its discretion give credits towards existing or future park dedication requirements associated with platting of the property.
5. Encourage the private sector to provide recreational opportunities for specialized trail uses (i.e., snowmobiles, horses) and to provide access to existing City trail facilities.
6. Provide supportive facilities (i.e., bike parking areas, restrooms, water, rest areas, benches, etc.) in conjunction with trail development.
7. Encourage the private sector to assist the City in the provision of trail support facilities (i.e., rest area, bike parking areas, etc.).
8. Establish corridors that minimize stop signs, cross traffic, and mixing with other modes of transportation.
9. Provide trail system connections between major community destinations areas (i.e., parks, schools, commercial/industrial centers, lakes, public buildings, and residential areas).
10. In an effort to minimize trail construction costs, trails are to be constructed in conjunction with State, County and City street improvements. Trails constructed with County road improvements shall be financed in conformance with the Dakota County trail financing policy.

11. Establish trail priorities to identify trails to be constructed in five years as part of the City's Capital Improvement Plan. Annually review and reassess the priority for the trails scheduled for construction within the next two years.

Policies - Horses:

1. Encourage and promote use of existing horse trails in Murphy-Hanrehan Park Reserve.
2. Continue to use existing trails for horseback riding in Ritter Farm Park until such time they may become incompatible with park development.
3. Encourage private facilities to provide horseback riding opportunities where possible and in compliance with the Comprehensive Land Use Plan and Zoning Ordinance.
4. Prohibit horseback riding on trails unless otherwise designated.

Policies - Snowmobiles:

1. Continue to allow regulated snowmobile street use in the City in accordance with the Lakeville City Code provided that snowmobile traffic does not become a hazard to public safety and welfare.
2. Promote the use of the Dakota County snowmobile trails and monitor development adjacent to these corridors to identify potential trail use conflicts with densely developed areas of the City.
3. In areas experiencing urban growth, promote new snowmobile route alignments that maintain a degree of physical separation between the development areas and the trail routes.
4. Encourage continued support of the City's private snowmobile club in the maintenance and upkeep of snowmobile trails and policing snowmobile use.

Policies - All Terrain Vehicles:

1. The use of motorized all-terrain vehicles shall be prohibited in City parks and on trails within the system.

Policies - Trail Maintenance and Operation:

1. Develop a clear and concise system of trail graphics and signage that directs people along trails to specific points of interest.
2. Post trail safety rules along trails that give instructions on the safe and proper use of the trails.
3. Adopt traffic signing to control trail traffic and to educate both the motorist and trail users as to their relationship in traffic patterns.
4. Provide adequate maintenance of trail facilities to insure their availability for use throughout the year and their safe condition for the protection of the user.
5. Remove snow from trails within a one mile radius from school facilities and remove snow from all other trails as established by priority ranking and as time allows.
6. Provide lighting along all trails adjacent to major collector and arterial streets and greenway corridors, and within parks as deemed necessary for security and user safety.
7. Police trails as necessary in order to maintain user safety.

Standards – Public Relations:

1. Promote citizen interest and involvement in the City's both the planning, development and use of park and recreation programs.

Policies – Public Relations:

1. Advertise City park facilities and recreation programs through the City newsletter, brochures, newspapers, web page, hot line, cable television, radio, informational signs, and other available media.
2. Publish information that describes the trail routes, parks, playfields, service and rest facilities and that also includes a map of park facilities.
3. Conduct surveys periodically to assess frequency and characteristics of use, safety, and other factors on major portions of the trail system.
4. City Staff shall be educated in public relation concerns and shall be utilized to inform the public and system users on a personal, one-on-one basis.

Socioeconomic Profiles and Community Characteristics

Socioeconomic profiles and community characteristics summarized in Chapter Two are based on the following tables with information gathered from the U.S. Census, the State Demographer and the City of Lakeville.

Existing Land Use		
	2008	
Land Use Type	Total Acres	Percent of Total
Agricultural/ Undeveloped	6,624.27	27.1%
Vacant	--	--
Airport	135.92	0.6%
Commercial	488.54	2.0%
Golf Course	344.42	1.4%
High Density Residential	32.08	0.1%
Institutional		
Institutional-High Imperviousness	954.78	3.9%
Industrial-Office	733.21	3.0%
Low Density Residential	5,620.57	23.0%
Medium Density Residential	788.19	3.2%
Natural Area	--	--
Developed Park	1,517.58	6.1%
Very Low Density Residential (RR)	2,312.51	9.5%
Water	1,026.72	4.2%
Other Commercial	--	--
Roads	3,277.58	13.4%
Gravel Mining	345.41	1.4%
Restricted Development	797.55	3.3%
TOTAL	24,463.55	100.0%
SOURCE: City of Lakeville 2008 Comprehensive Land Use Plan		

Undeveloped MUSA Acreage		
	2012 (through 2030)	Percent of Total City Acre
Existing MUSA	2,531.44	10.34%
MUSA – trunk sewer improvements required	455.84	1.9%
MUSA Expansion Area B (A)	2,004.58 acres	8.2%
MUSA Expansion Area C (B)	948.44 acres	3.9%
Urban Reserve Area	1,463.83 acres	6.0%
Permanent Reserve (Rural)	2,270.74 acres	9.3%
TOTAL	9,674.87 acres	100%
Source: City of Lakeville 2008 Comprehensive Land Use Plan, Lakeville Plat Monitoring Program		

Total Proposed Land Use Breakdown		
Land Use Type	2030	
	Total Acres	Percent of Total
Rural Residential	1,618.18	6.6
Low Density Residential	6,721.70	27.5
Manufactured Housing	197.29	0.8
Low to Medium Density Residential	1,257.00	5.1
Medium Density Residential	1,251.05	5.0
Medium to High Density Residential	534.57	2.2
High Density Residential	185.27	0.8
O/R Transition	105.72	0.4
Commercial	1,156.15	4.7
Office Park/Business Campus	750.29	3.1
Light Industrial/Warehousing	342.46	1.4
Industrial	745.53	3.0
Airport	135.92	0.6
Public and Semi-Public	950.67	3.8
Parks	1,521.69	6.2
Restricted Development	1,361.40	5.6
Special Plan Area	1,324.33	5.4
Water	1,026.72	4.2
Right-of-Way	3,277.58	13.4
Guided Urban/Outside MUSA	0.00	0.0
TOTAL	24,463.55	100.0

Source: 2008 Lakeville Comprehensive Land Use Plan

Number Of Households And Household Size			
	Population	Household	Household Size
1990	24,854	7,851	3.17
2000	43,128	13,609	3.17
2010 projected	55,300	19,200	2.88
2010 actual	55,954	18,683	2.99
2020	78,400	28,400	2.76
2030	88,800	33,500	2.65

Source: U.S. Census, State Demographer, 2008 Lakeville Comprehensive Lane Use Plan

Household Type									
Household Type	Total Number of Households			Households With Children (as a Percent of Total Households)			Households Without Children (as a Percent of Total Households)		
	1990	2000	2010	1990	2000	2010	1990	2000	2010
Family – Married Couple	5,814	10,238	12,684	3,923 50%	6,648 49%	7,349 39%	1,891 90%	3,373 91%	5,335 88%
Family – Male Householder	222	428	753	139	290	501	83	138	252
Family – Female Householder	552	969	1,721	430	778	1,249	122	191	472
Family Households	6,588 84%	11,529 85%	15,158 81%	4,492	7,716	9,099	2,096	3,702	6,059
Non-Family Households*	1,263 16%	2,080 15%	3,523 19%						
Total Households	7,851 100%	13,609 100%	18,683 100%						

*Nonfamily households consist of people living alone and households which do not have any members related to the householder.
Source: US Census

Population According To Age Group 2000 & 2010								
Age Group	Lakeville				Dakota County		Mpls-St.Paul Metro	
	# 1990	# 2000	# 2010	% 2010	# 2010	% 2010	# 2010	% 2010
School Age:								
0-4	2,952	4,358	4,154	7.4	27,871	7.0	226,483	6.9
5-9	2,747	4,655	5,087	9.1	28,947	7.3	228,363	7.0
10-14	2,128	4,413	5,388	9.6	29,793	7.5	225,476	6.9
15-19	1,566	3,104	4,506	8.1	27,301	5.5	223,648	6.8
Sub-Total	9,939	16,530	19,135	34.2	113,912	28.6	903,970	27.5
Labor Force:								
20-24	1,353	1,561	2,401	4.3	21,839	5.5	214,482	6.5
25-34	6,083	6,554	6,557	11.7	54,279	13.6	477,668	14.6
35-44	4,625	9,757	9,511	17.0	56,912	14.3	455,201	13.9
45-54	1,961	5,215	10,028	17.9	66,334	16.6	508,014	15.5
55-64	854	2,285	5,095	9.1	45,460	11.4	370,829	11.3
Sub-Total	14,876	25,372	33,592	60.0	244,824	61.4	2,026,194	61.8
Retired:								
65+	585	1,226	3,227	5.8	39,816	10.0	349,669	10.7
TOTAL	24,854	43,128	55,954	100.0	398,552	100.0	3,279,833	100.0

SOURCE: U.S. Census 2000, 2010

School District Enrollment

Lakeville ISD 194 Enrollment							
Grade	2007-'08	2008-'09	2009-'10	2010-'11	2011-'12	% Chg. 2000-2005	% Chg. 2007-2012
Pre-K	142	--	--	--	129	31.5	-9.2
K	777	745	731	697	674	2.0	-13.3
1-5	4,085	4,099	4,002	3,993	3,822	8.1	-6.4
6-8	2,728	2,643	2,694	2,685	2,652	12.7	-2.8
9-12	3,595	3,690	3,699	3,701	3,713	24.4	3.3
K-12	11,327	11,177	11,126	11,076	10,990	13.3	-3.0
Dak. Cty	73,324	74,203	74,125	73,792	73,193	--	-0.2

Source: MN Dept. of Education

Farmington ISD 192 Enrollment							
Grade	2007-'08	2008-'09	2009-'10	2010-'11	2011-'12	% Chg. 2000-2005	% Chg. 2007-2012
Pre-K	90	--	--	--	99	10.1	10.0
K	541	564	574	515	568	5.8	5.0
1-5	2,596	2,575	2,640	2,709	2,748	24.1	5.9
6-8	1,430	1,491	1,518	1,471	1,456	19.1	1.8
9-12	1,623	1,634	1,700	1,737	1,793	9.4	10.5
K-12	6,280	6,264	6,432	6,432	6,664	17.3	6.1
Dak. Cty.	73,324	74,203	74,125	73,792	73,193	--	(0.2)

Source: MN Dept. of Education

Rosemount ISD 196 Enrollment							
Grade	2007-'08	2008-'09	2009-'10	2010-'11	2011-'12	% Chg. 2000-2005	% Chg. 2007-2012
Pre-K	411	--	--	--	418	14.4	1.7
K	1,830	1,934	1,856	1,925	1,941	-7.5	6.1
1-5	9,801	9,777	9,859	9,847	9,844	-5.7	.4
6-8	6,500	6,345	6,232	6,148	6,125	-.6	-5.8
9-12	9,325	9,216	9,111	9,171	9,109	9.2	-2.3
K-12	27,867	27,253	27,058	27,091	27,437	-0.04	-1.5
Dak. Cty.	73,324	74,203	74,125	73,792	73,193	--	-0.2

Source: MN Dept. of Education

City of Lakeville Public & Private Athletic Facilities

City of Lakeville Facilities (as of March, 2015)		Park Classification	Address	Total Acres	Active Acres	Trails / Miles	Baseball Field	Basketball Court	Multi-Purpose Facility	Football/Soccer/Lacrosse	Softball Field	Tennis/Pickleball Court	Volleyball Court	Ice Rinks (1 Hockey & 1 Figure Skating)	Gymnasium
PARK FACILITIES															
1	Antlers Park	CP	9740 - 201st St. W.	12.00	10.00	0.44					1		6		
2	Aronson Park	CPF	8550 - 202nd St. W.	70.00	55.00	0.29				8	9				
3	Bassett Park	TL	18959 Orchard Trail	0.75	0.50	0.07		0.5							
4	Bracketts Crossing Park	TL	17775 Layton Path	1.00	0.25	-		0.5							
5	Bunker Hill Park	NP	16755 Gerdine Path	10.00	9.00	0.41		1.0		1	1	2			
6	Casperson Park & Boat Launch	CP	10900 - 195th St. W.	40.00	9.00	0.79				4			1		
7	Chadwick Park	NP	21225 Italy Avenue	9.00	9.00	0.25		0.5		1	1				
8	Cherryview Park	NP	7925 - 175th Street	12.50	9.00	0.36		0.5			1			2	
9	Dakota Heights Park	NP	9550 - 175th St. W.	12.00	8.00	0.29					1			2	
10	Dodd Pointe Park	TL	5646 - 160th St. W.	2.50	0.50	0.33		0.5							
11	Dodd Trail Park	NP	17035 Flagstaff Avenue	11.30	11.00	0.50		0.5		3	1	2	1		
12	East Community Park	CP	16700 Pilot Knob Road	70.00	10.00	1.27		0.5		PF	1	2	PF		
13	Fairfield Park	NP	16776 Gannon Avenue	4.00	4.00	0.48					1				
14	Fieldstone Park	NP	16525 Fairgreen Avenue	14.00	10.50	0.46		0.5		PF	1				
15	Foxborough Park	NP	7743 Upper 167th St. W.	27.00	21.00	0.38	1	0.5		2					
16	Greenridge Park	NP	17685 Flagstaff Avenue	10.00	10.00	0.15		0.5		1	1			2	
18	Highview Heights Park	NP	16314 Havelock Way	10.00	9.00	0.20		0.5		1	1			2	
19	Hypointe Crossing Park	TL	16390 Hutchinson Drive	2.00	1.25	0.10		0.5							
20	Independence Park	NP	16210 Finch Way	6.00	6.00	0.19					1				
21	Jaycee Park	NP	20510 Hull Avenue	3.50	3.00	-		1.0		1	1				
22	Kensington Park	NP	20600 Kensington Blvd.	10.00	8.00	0.21		0.5			1				
23	King Park	CPF	18350 Dodd Blvd.	50.00	45.00	0.77	9								
24	McGuire Soccer Park	CPF	8585 - 215th Street	8.00	6.00	-	1			9	3				
25	Meadows Park	NP	20707 Jacquard Avenue	17.00	6.00	0.06		0.5		1	1		1	2	
26	Oak Shores Park	NP	10435 - 162nd St. W.	23.00	4.00	0.80		1.0			1	2			
27	Parkview Park	CP	6833 Gerdine Path	11.00	8.00	0.22				2	3			2	
28	Prairie Lake Park	NP	18179 Kingsway Path	9.67	7.00	0.34		1.0			1			2	
29	Quail Meadows Park	NP	5580 - 170th St. W.	10.00	9.00	0.07				2	3			2	
30	Quigley-Sime Park	CPF	8500 - 202nd St. W.	27.00	15.00	0.16	4			1					
31	Rolling Oaks Park	NP	10595 - 167th St. W.	12.00	11.00	0.43		0.5		2	1				
33	Steve Michaud Park	CPF	17100 Ipava Avenue	42.00	36.00	1.21	1			11					
34	Stoneborough Park	NP	21390 Hytrail Circle	7.18	5.50	0.31					1				
35	Terrace Park	TL	8475 Lower 208th St. W.	1.00	0.50	-		0.5							
36	Village Creek Park	NP	20651 Hartford Way	23.02	10.00	0.73		0.5		1	1				
TOTAL				578.42	367.00	12.27	16	12.5		51	38	8	9	16	

City of Lakeville Public & Private Athletic Facilities, continued

ISD 194 Facilities (as of March, 2015)		Address	Total Acres	Active Acres	Trails / Miles	Baseball Field	Basketball Court (outdoor)	Multi-Purpose Facility	Football/Soccer/Lacrosse	Softball Field	Tennis/Pickleball Court	Volleyball Court	Ice Rinks - Hockey	Gymnasium
1	Century Middle School	18610 Ipaava Avenue							4	4	8			2
2	Cherryview Elementary School	8600 175th Street West					0.5		2	2				1
3	Christina Huddleston Elementary School	9569 175th Street West					1.0		2	2				1
4	Crystal Lake Elementary School	16250 Ipaava Avenue					0.5		2	3				1
5	Eastview Elementary School	18060 Ipaava Avenue					0.5		2	2				1
6	Kenwood Trail Middle School	19455 Kenwood Trail				1			4	2	4			1
7	Lakeville North High School	19600 Ipaava Avenue				2			4	4	9			2
8	Lakeville South High School	21135 Jacquard Avenue				3			12	5	10			2
9	Lake Marion Elementary School	19875 Ipaava Avenue					0.5		1	2				1
10	Lakeview Elementary School	20500 Jacquard Avenue								4				1
11	McGuire Middle School	21220 Holyoke Ave. W											2	1
12	Oak Hills Elementary School	8640 165th Street West					0.5			1				1
13	Orchard Lake Elementary School	16534 Klamath Trail								2				1
TOTAL						6	3.5		33	33	31		2	16
SPECIAL USE FACILITIES														
	Ames Arena	19900 Ipaava Ave.											2	
	Hasse Arena	8525 215th St. W.											1	*
	Kenwood Trails Disc Golf Course	19455 Kenwood Trail	21.75	18 holes										
	King Park - Miracle Field					1								
TOTAL						1							3	
Private Athletic Facilities (as of March, 2015)		Address	Total Acres	Active Acres	Trails / Miles	Baseball Field	Basketball Court	Multi-Purpose Facility	Football/Soccer/Lacrosse	Softball Field	Tennis/Pickleball Court	Volleyball Court	Ice Rinks	Gymnasium
1	All Saints Catholic Church	19795 Holyoke Avenue								2				1
2	Crossroads Church	17671 Glacier Way								1				
3	Hosanna Church (outdoor)	9600 163rd Street West						1						
4	Saints Sports Academy (indoor)	9913 214th Street West						1						
5	Lifetime Fitness (indoor)	18425 Dodd Blvd.					2.0				12			
TOTAL							2.0	2		3	12			1
GRAND TOTAL						23	18.0	2	84	74	51	9	21	17

Planning Districts

To provide a detailed examination of Lakeville’s neighborhood park needs, the City has been divided into twelve planning districts. The districts are consistent with those used within the 2030 Comprehensive Land Use Plan. Within these park planning districts, the park and trail needs were examined in relation to population growth, proposed land use, and transportation recommendations. Within each district, geographic-specific recommendations have been provided addressing neighborhood park and trails.

District 1 – I-35/CSAH 50/Orchard Lake

This district is located in the northwest corner of the City and contains a variety of land uses. Low density residential uses predominate in the western portion, while commercial uses are focused along the Interstate corridor. Its boundaries are defined by the city limits to the north and west, 185th Street to the south and I-35/Highway 50 to the east. Existing park facilities consist of primarily smaller facilities sparsely dispersed throughout District 1.

Existing Park & School Facilities

	Total Acres	Active Acres
NEIGHBORHOOD/MINI PARKS:		
Brackett’s Crossing Park	1.0	.25
Kenmore Park	.25	.20
Kenreel	.25	.25
Lone Oak Park	.50	.50
Orchard Lake Park	3.2	2.5
Prairie Lake Park	9.7	7.0
Total Neighborhood Parks:	14.9	10.7
GREENWAYS/CONSERVANCY AREAS:		
Kachina Court	18.91	0
Oaks of Lake Villa	9.82	0
Orchard Trail	26.7	0.0
Total Greenways/Cons. Areas:	55.43	0
SPECIAL USE PARKS:		
Orchard Lake Beach	.50	.50
Wayside Park	1.50	.50
Total Special Use Parks:	2.00	1.00
Total Parks:	72.33	11.7
SCHOOLS:		
Orchard Lake Elementary	14.3	4.7 – 7.1
DISTRICT 1 TOTAL:	86.63	16.4-18.8

**District 1
Recommendations**

1. Physical barriers, development patterns, and environmental features in the northern half of District 1 limit park land opportunities in this area of the City. There is a YMCA day camp at the southwest corner of the intersection of Klamath Trail and County Road 5. If the site ever experiences a change of use or is redeveloped, consideration should be given to the establishment of a neighborhood park in this area to serve the surrounding residential neighborhoods.
2. The development patterns in District 1 restrict the availability of additional new park sites. In this respect, trail system improvements within District 1 will improve access to available recreation facilities.
 - a. Extension of trail or bike lanes around Orchard Lake.
 - b. Completion of trails along Kenyon and Keokuk Avenues to provide for north-south connection within the district.
 - c. Provide trail access into Murphy Hanrehan Regional Park from the south.
3. A conservation search area is identified within District 1 adjacent to an existing wetland, west of Orchard Lake Elementary. There is also opportunity for a park area west and south of the existing Queen Anne Manufactured Home community. Acquisition of these park areas and conservation areas should be accomplished through dedication as park land, stormwater management areas or wetland buffers or purchase.

Existing Park & School Facilities

District 2 – North Ipava Corridor

District 2 is located in the north central portion of Lakeville. The district boundaries include I-35/Highway 50 on the west, the city limits on the north, Highview Avenue on the east, and 185th Street on the south. The majority of the district is developed with residential land uses of varying densities and some scattered commercial sites.

	Total Acres	Active Acres
NEIGHBORHOOD/MINI PARKS:		
Dakota Heights	12.0	8.0
Hypointe Crossing	2.0	1.25
Lynwood Heights	3.4	3.4
Oak Shores	23.0	4.0
Rolling Oaks	12.0	11.0
Total Neighborhood Parks:	52.4	27.65
COMMUNITY PLAYFIELDS:		
King Park	50.0	45.0
Steve Michaud (North) Park	42.0	36.0
Total Community Playfields:	92.0	81.0
GREENWAYS/CONSERVANCY AREAS:		
Dakota Heights #2	1.0	NA
Daniel's Addition	6.39	NA
Goose Lake	4.0	NA
North	98.0	NA
Raven Lake	3.4	NA
Rolling Oaks #2	3.0	NA
Woodbury	26.0	NA
Zweber Woods	10.33	NA
Total Greenways/Conserv Areas:	152.12	NA
TOTAL PARKS:	296.52	108.65
SCHOOLS:		
Cherryview Elementary	19.7	6.5-9.8
Christina Huddleston Elem.	18.5	6.1-9.2
Crystal Lake DEC	22.0	7.3-11.0
Eastview Elementary	18.6	6.1-9.3
Oak Hills Elementary	19.3	6.4-11.8
Total Schools:	98.1	32.4-51.1
DISTRICT 2 TOTAL:	394.6	141.0-159.8

District 2 Recommendations

The following recommendations are offered for future park and trail facilities in District 2:

1. A neighborhood park search area is identified over the existing water tower site within the Dakota Heights neighborhood. The 9.8 acre site is underutilized in its current condition and presents an opportunity to develop needed recreational facilities for this neighborhood and making full use of the City owned property. The water tower is located in the north central portion of the site, making approximately five acres of the site available for park uses.
2. Expansion of King Park is desired to provide additional field space and parking.
3. A high priority within District 2 is preservation of significant uplands, including some of the last remaining untouched wooded and natural areas in Lakeville. A specific area targeted for conservation is the forest south of 185th Street and east of Dodd Boulevard. This and other areas are to be preserved through park dedication, tree preservation requirements during subdivision, donation and/or purchase.
4. The existing trail system provides fairly comprehensive coverage throughout District 2. New trail improvements should include:
 - a. Plan for trails on both sides of Dodd Boulevard in conjunction with any future Dakota County improvements of the roadway, preferably grade-separated and designated as a Transportation Corridor
 - b. Provide for Transportation Trail Corridors along both sides of 185th Street between CSAH 50 and Cedar Avenue to provide pedestrian and bicycle access to King Park.
5. Opportunity exists for a new greenway along the north edge of the City's wetland bank located at the northeast quadrant of Ipava Avenue and 185th Street. The greenway would follow existing drainageways and could also extend along the south edge of King Park and through the King farm property toward the east.

Existing Park & School Facilities

District 3 – North Dodd Corridor

District 3 is located in the northeast corner of Lakeville and is mostly developed. Its boundaries include the City’s municipal boundary on the north, MUSA Expansion Area A which abuts the Urban Reserve to the south, Highview Avenue to the west and approximately the leading edge of development to the east.

	Total Acres	Active Acres
NEIGHBORHOOD/MINI-PARKS:		
Bunker Hill	10.0	9.0
Cedar Highlands	8.9	1.0
Cherryview	12.5	9.0
Dodd Pointe	2.5	0.5
Dodd Trail	11.3	11.0
Fairfield	4.0	4.0
Foxborough	27.0	21.0
Greenridge	10.0	10.0
Highview Heights	10.0	9.0
Independence	6.0	6.0
Parkview	11.0	8.0
Sleepy Hollow	4.0	4.0
Total Neighborhood/Mini-Parks:	117.3	92.5
COMMUNITY PARKS:		
Valley Lake Park and Beach	42.0	10.0
Total Community Parks	42.0	10.0
GREENWAYS/CONSERVANCY AREAS:		
Cherryview Pond	8.0	0
Foxborough	56.0	0
Quail Meadows	14.0	0
Total Greenways/Conserv Areas	78.0	0
Total Parks:	237.3	102.5
SCHOOLS:		
Parkview Elementary	13.0	4.3-6.5
DISTRICT 3 TOTAL:	250.3	106.8-109.0

**District 3
Recommendations**

1. In the southwestern portion of District 3, east of Cedar Avenue, a park search area is recommended. This area is located outside Greenridge Park service area and is isolated from other park service areas by Cedar Avenue and Dodd Boulevard. This park should be located south of 179th Street adjacent to existing City owned parcels utilized for stormwater management purposes related to the adjacent Crossroads development.
2. Another neighborhood park search area is located further west and south, toward King Park. This area of the City is isolated from the bulk of neighborhoods and many parks to the north by Pilot Knob Road and Dodd Boulevard. It is expected that a 200+ acre planned neighborhood community, called Avonlea, may be platted in this area and should directly access or incorporate planned greenways in this location.
3. These major roadways may inhibit resident use of the existing neighborhood parks and the planned East Community Park. This area is designated for future residential land use and will experience significant population growth. A neighborhood park would be a complementary use within this future residential area. Existing City owned parcels utilized for stormwater management purposes are to be combined with land acquired through park dedication to provide for the desired neighborhood park within this defined area.
4. Due to the numbers of higher functional classification streets that traverse District 3, the trail system will be a critical element of the district's recreational and transportation system. Trail emphasis should be given to the following corridors:
 - a. Continuation of Transportation Trail Corridors south along the east side of Cedar Avenue.
 - b. Coordinate with Dakota County for the provision of trails along Dodd Boulevard.

District 4 – Lake Marion

District 4 is located between Interstate 35 and Highway 50 and includes the land surrounding Lake Marion. Low density residential development and the Kenwood Trail Middle School are the predominant land uses.

Existing Park & School Facilities

	Total Acres	Active Acres
NEIGHBORHOOD/MINI-PARKS:		
Bassett Park	.75	.5
Lake Ridge	12.0	5.5
Total Neighborhood Parks:	12.75	6.0
COMMUNITY PARKS:		
Antlers Park and Beach	12.0	10.0
Casperson	40.0	9.0
West Lake Marion	39.3	0
Total Community Parks:	91.3	19.0
CONSERVATION AREAS:		
Great Oak Shores	27.0	0
Lone Tree Point	45.0	0
Total Conservation Areas:	72.0	0
SPECIAL USE PARKS:		
Lake Marion Fishing Bridge	.25	0
Juno Trail Head	1.0	0
Total Special Use Parks:	1.25	0
Total Parks:	177.3	25
SCHOOLS:		
Kenwood Trail Middle	84.0	42.0-55.0
Total Schools:	84.0	42.0-55.0
TOTAL DISTRICT 4:	261.3	67.0-80.0

District 4 Recommendations

The following recommendations are offered to address the future park and trail needs in District 4.

1. Acquisition of the Rechtigel property that is separating Caspersion Park from West Lake Marion Park continues to be a desirable high-priority in order to complete a contiguous ownership pattern along West Lake Marion. Strong consideration will also be given to the acquisition of all the remaining Lake Marion lakeshore between Caspersion Park and the southern boundary of the Great Oak Shores subdivision.
2. Establish a single community park along the entire western edge of Lake Marion.

3. Acquisition or development of the Bury property will require preservation of the bluff line along the southwest shore of Lake Marion as a greenway corridor and dedication of land for a neighborhood park and/or as an enhancement to Casperson Park.
4. Acquisition of the parcel directly north of the Lake Marion Fishing Pier, including the island.
5. Antlers Park will be expanded to the east toward Highway 50 in conjunction with the development of the adjoining properties.
6. MPTWs will be extended between West Lake Marion Park and Casperson Park, as well as north of Casperson Park along the west shoreline of Lake Marion to the Lake Marion Fishing Pier and islands.
7. A regional greenway corridor will also be sought on the northeast and east sides of Lake Marion as the railroad right-of-way becomes available to complete a trail route around the full perimeter of the lake.

District 5 – Central Area/Heritage Commons

District 5 is located in central Lakeville, along the east side of CSAH 50 and south of 185th Street. This planning district contains large tracts of undeveloped land which will be guided by the Heritage Commons study and the Central Area Plan.

Existing Park & School Facilities

	Total Acres	Active Acres
NEIGHBORHOOD/MINI-PARKS:		
Dodd Marsh	27.37	2.0
Total Neighborhood Parks:	27.37	2.0
CONSERVATION AREAS:		
Ipava Greenway	28.0	0
Spring Hill Cons. Area	3.1	0
Shady Oak Grove Grnwy.	1.4	0
Total Conservation Areas:	32.5	0
Total Parks:	177.3	0
SCHOOLS:		
Century Middle	41.0	20.0-27.0
Total Schools:	41.0	20.0-27.0
TOTAL DISTRICT 5:	218.3	22.0-29.0

District 5 Recommendations

1. This district contains a Neighborhood Park search area which overlaps into District 12. It should accommodate regional greenways and be integrated with conservation areas along existing drainage ways/future development.
2. Establish greenway corridors throughout the district that connect environmentally sensitive areas and pursue future acquisition of the railroad right-of-way for a regional greenway connection/loop around Lake Marion.

District 6 – I-35/Fairfield Bus. Campus/CSAH 70

District 6 is located in the southwestern corner of the City and contains a large area of low density residential development. Commercial and industrial land uses are also a focus along I-35 and within the Fairfield Business Campus at CSAH 70.

Existing Park & School Facilities

	Total Acres	Active Acres
NEIGHBORHOOD/MINI-PARKS:		
Chadwick	9.0	9.0
Kensington	10.0	8.0
Marion Fields	5.15	1.0
Meadows	17.0	6.0
Stoneborough	7.18	5.5
Total Neighborhood Parks:	48.33	29.5
CONSERVATION AREAS:		
Meadows Conserv. Area	10.0	0
South Creek Greenway	81.0	0
Wild Meadows	17.0	0
Total Conservation Areas:	108.0	0
Total Parks:	156.33	29.5
SCHOOLS:		
Lakeville South High	108.1	54.0-71.3
TOTAL DISTRICT 6:	264.4	83.5-100.8

District 6 Recommendations

1. The proposed park search area should accommodate the South Creek/Lake Marion Regional Trail, which is shown to extend west of the Lakeville South High School site and south of CSAH 70 to I-35 to provide a future connection to Soberg WPA.
2. Work with Dakota County to define the exact route of the South Creek Lake Marion Regional Greenway.
3. A community playfield search area is located adjacent to the southwest corner of the Lakeville South High School Campus. In order to provide more convenient access to the athletic fields for recreation program users, the City will seek to develop off-street parking facilities in this area either through acquisition of property through dedication or purchase. Consideration for cooperative cross parking rights should also be considered with future development of the property adjacent to the west line of the Lakeville South High School site.

District 7 – Central Business District

Planning District 7 includes the historic Central Business District and surrounding areas between CSAH 50 and CSAH 70. It contains a full range of land use types which are required to meet development guidelines in order to promote the City’s vision for the CBD.

Existing Park & School Facilities

	Total Acres	Active Acres
NEIGHBORHOOD/MINI-PARKS:		
Jaycee	3.5	3.0
Terrace Park	1.0	.5
Village Creek	23.0	10.0
Total Neighborhood Parks:	27.5	13.5
COMMUNITY PLAYFIELDS:		
Aronson	70.0	55.0
Quigley-Sime	27.0	15.0
McGuire	8.0	6.0
Total Conservation Areas:	105.0	76.0
SPECIAL USE PARKS:		
James Jensen	3.5	3.0
Market Plaza	.5	.1
Pioneer	.5	.25
Total Special Use Parks:	4.5	3.35
Total Parks:	137.0	93
SCHOOLS:		
John F. Kennedy Elem.	25.0	8.2-12.5
McGuire Middle	23.9	12.0-15.8
Total Schools:	48.9	20.2-28.3
TOTAL DISTRICT 4:	186.0	113.2-121.3

District 7 Recommendations

1. Work with Dakota County to define the exact route of the South Creek Lake Marion Regional Greenway.
2. Utilizing greenway corridors, pedestrian connections and other design criteria, the City should pursue efforts to establish an interrelationship between the CBD and Heritage Commons.
3. Maintain and update park and trail facilities as needed to ensure vitality in this historic area and transition to outlying areas.

District 8 – Airlake Industrial Park

This district is located in the southeast corner of the City and is primarily guided for industrial land uses associated with Airlake Industrial Park. This district contains no parks or conservation areas.

1. Pursue creation of a Community Playfield complex in association with City-owned land along the Lake Marion Regional Greenway.
2. Continue establishment of the Lake Marion Regional Greenway corridor along South Creek through the development review process to enhance and improve the environmental quality of this tributary and to preserve South Creek as a trout stream.

District 9 – Northwest Rural Service Area

District 9 is located in the extreme northwest corner of the City and is characterized by severe environmental features such as steep topography, numerous wetlands, and extensive tree cover. The existing land uses consist of rural residential lots and hobby farms. This district contains no parks or conservation areas.

1. Encourage acquisition of the CP Railroad right-of-way for a regional greenway to connect into Burnsville, to the planned regional greenways in the Dakota County Park System and to someday remove pedestrian and bicycle traffic further away from Highway 50 and provide a loop around Lake Marion.

District 10 – Southwest Rural Service Area

District 10 is located in southwestern Lakeville along the City's western border. It is known as the southwest rural service area because it includes mostly larger lot hobby farms and remaining agricultural land that will likely remain as permanent rural land uses.

Ritter Farm Park is the only park facility located in District 4. This community park's unique natural environmental features offer passive recreation facilities which blend well with the rural residential character of the district.

Existing Park Facilities

	Total Acres	Active Acres
COMMUNITY PARKS:		
Ritter Farm Park	340.0	66.0
CONSERVATION AREAS:		
Knollwood	1.44	0
Soberg	113.9	0
Total Conservation Areas:	115.34	0
TOTAL PARKS IN DISTRICT 10:	455.3	66.0

District 10 Recommendations

In review of the park needs within District 4, the following recommendations are offered:

1. Expand utilization of Ritter Farm Park through improvements such as trails for several types of users, environmental learning center, reproduction farm setting, archery range, fishing, camping, large group picnics/outdoor events and/or a Boy Scout tent camp.
2. Investigate potential expansion of Ritter Farm Park south to include 20 acres around a significant wetland feature. Improve access to Ritter Farm Park City-wide through community trail systems. Specific trail corridors should include a MPTW trail loop that would connect Keokuk Avenue, 195th Street, Kenrick Avenue, and 205th Street. This trail loop would improve pedestrian and bicycle access to both Ritter Farm Park and Casperson Park.
3. Should this district experience some suburban growth, a neighborhood park facility will be appropriate in two locations to serve this area. The neighborhood parks may be needed to serve this long range growth area and could be acquired through park dedication requirements during any potential subdivision process.

4. Establishment of greenway corridors should also be sought from Ritter Farm Park west to Judicial Road north to Murphy-Hanrehan Park Reserve and from Soberg Waterfowl Production Area east, across I-35 to connect with the South Creek greenway
5. Consistent with the long term rural character of District 4, the City wishes to pursue a greenway connection between Ritter Farm Park and Soberg Waterfowl Production Area. This greenway would provide an attractive overland trail between two of the City’s natural amenities.

District 11 – Northeast Lakeville

This district is located in the very northeast corner of the community. The majority of District 11 is undeveloped, although newly added to the MUSA and home to the large Brandtjen Farm PUD development.

Existing Park & School Facilities

	Total Acres	Active Acres
NEIGHBORHOOD PARKS:		
Fieldstone	14.0	10.5
Quail Meadows	10.0	9.0
Total Neighborhood Parks:	24.0	19.5
COMMUNITY PARK:		
East	70.0	10.0
Total Community Parks:	70.0	10.0
CONSERVATION AREAS:		
Lake Place Greenway	9.3	0
Mallard Shores	1.0	0
North Creek Greenway	9.39	0
Total Greenways:	19.7	0
Total Parks:	113.7	29.5
SCHOOLS:		
North Trail Elementary	26.5	8.0-13.2
TOTAL DISTRICT 4:	140.2	37.5-42.7

**District 11
Recommendations**

1. The 520 acre Spirit of Brandtjen Farms subdivision includes significant areas for public parks, greenways and publicly accessible, privately maintained open space and facilities north of 170th Street and east of Pilot Knob Road. This project is anticipated to develop over a period from 2005 to 2015. The development includes 46.8 acres of public park land, part of the North Creek Regional Greenway corridor and a +/-4 acre neighborhood park adjacent to East Community Park, East Lake and extending to County Road 46 with a trail connection to Apple Valley utilizing an existing box culvert under the roadway. The location of the neighborhood park is identified on the Spirit of Brandtjen Farm PUD Land Use Plan and is anticipated to be dedicated to the City as part of a future phase of the subdivision after 2012.
2. A neighborhood park search area is located in the southeast quadrant of 170th Street and Pilot Knob Road. Because this search area is divided by MUSA staging areas, this park search area may take a low priority. Future location of a neighborhood park in this area should be within close proximity to North Creek and the planned North Creek Regional Greenway to take advantage of these physical features.
3. The City will pursue the continued development of East Community Park as funds allow. Planned facilities include a park building, horseshoe pits, a soccer/lacrosse field and planting beds.
4. Establish Transportation Trail Corridors along both sides of 170th Street and Pilot Knob Road and emphasize pedestrian safety at the Pilot Knob Road/170th Street intersection.
5. With the future extension of 179th Street through the southern portion of District 11, transportation or linking trails should be provided on both sides of this and intersecting major collector streets.

**District 12
Recommendations****District 12 – Cedar Corridor**

District 12 encompasses the Cedar Avenue corridor, which generally corresponds to the Urban Reserve area designated on the MUSA staging map. This area is largely undeveloped and still primarily agricultural land. Spyglass Park is the only park within this district and contains 4.2 acres of total and active area.

1. Neighborhood Park search area within a 200+ acre planned neighborhood community, called **Avonlea**, which should directly access or encompass planned greenways in this location
2. Search area for playfields or an athletic complex to accommodate the continually growing league play of both children and adults.
3. This Neighborhood Park search area should accommodate regional greenways and be integrated with conservation areas along existing drainageways/future development.
4. Expansion of the existing neighborhood park in the Spyglass development and to accommodate the planned greenway/conservation area along an existing drainageway.
5. This Neighborhood Park search area will follow the planned greenway east from Downtown Lakeville as infill development occurs progresses toward the Spyglass area.
6. Provide future trails along both sides of Pilot Knob Road south of 170th Street.

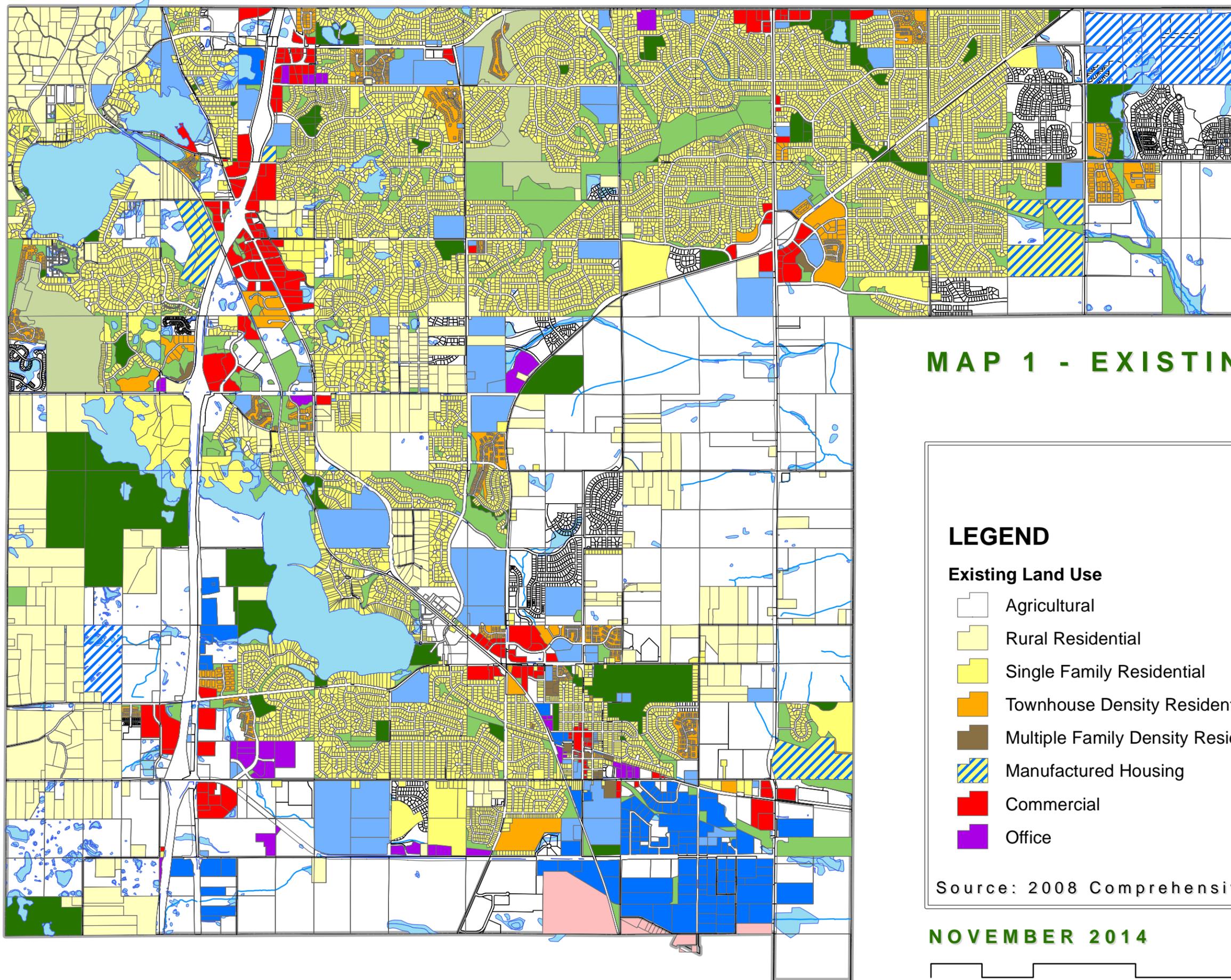
List of Maps

Map 1:	Existing Land Use
Map 2:	Staged MUSA Expansion Areas
Map 3:	2030 Land Use
Map 4:	Floodplains & Wetlands
Map 5:	School Districts
Map 6:	Existing Parks & Trails
Map 7:	Regional Facilities
Map 8:	Dakota County Parks & Trails
Map 9:	Dakota County Proposed Trail Plan
Map 10:	Dakota County Greenway Priority Plan
Map 11:	Existing Scott County Park & Trail Facilities
Map 12:	Scott County Proposed Park & Trail Plan
Map 13:	2030 Park System Plan & Service Areas
Map 14:	2030 Trail System Plan
Map 15:	Neighborhood Planning Districts
Map 16:	Planning District 1
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Map 23:	Planning District 8
Map 24:	Planning District 9
Map 25:	Planning District 10
Map 26:	Planning District 11
Map 27:	Planning District 12



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 1 - EXISTING LAND USE



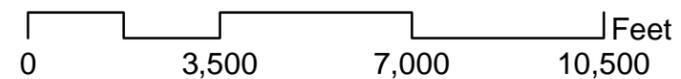
LEGEND

Existing Land Use

- | | |
|-------------------------------------|-------------------------|
| Agricultural | Public and Quasi-Public |
| Rural Residential | Industrial |
| Single Family Residential | Gravel Mining |
| Townhouse Density Residential | Airport |
| Multiple Family Density Residential | Golf Course |
| Manufactured Housing | Natural Area |
| Commercial | Developed Park |
| Office | Undeveloped |
| | Water |

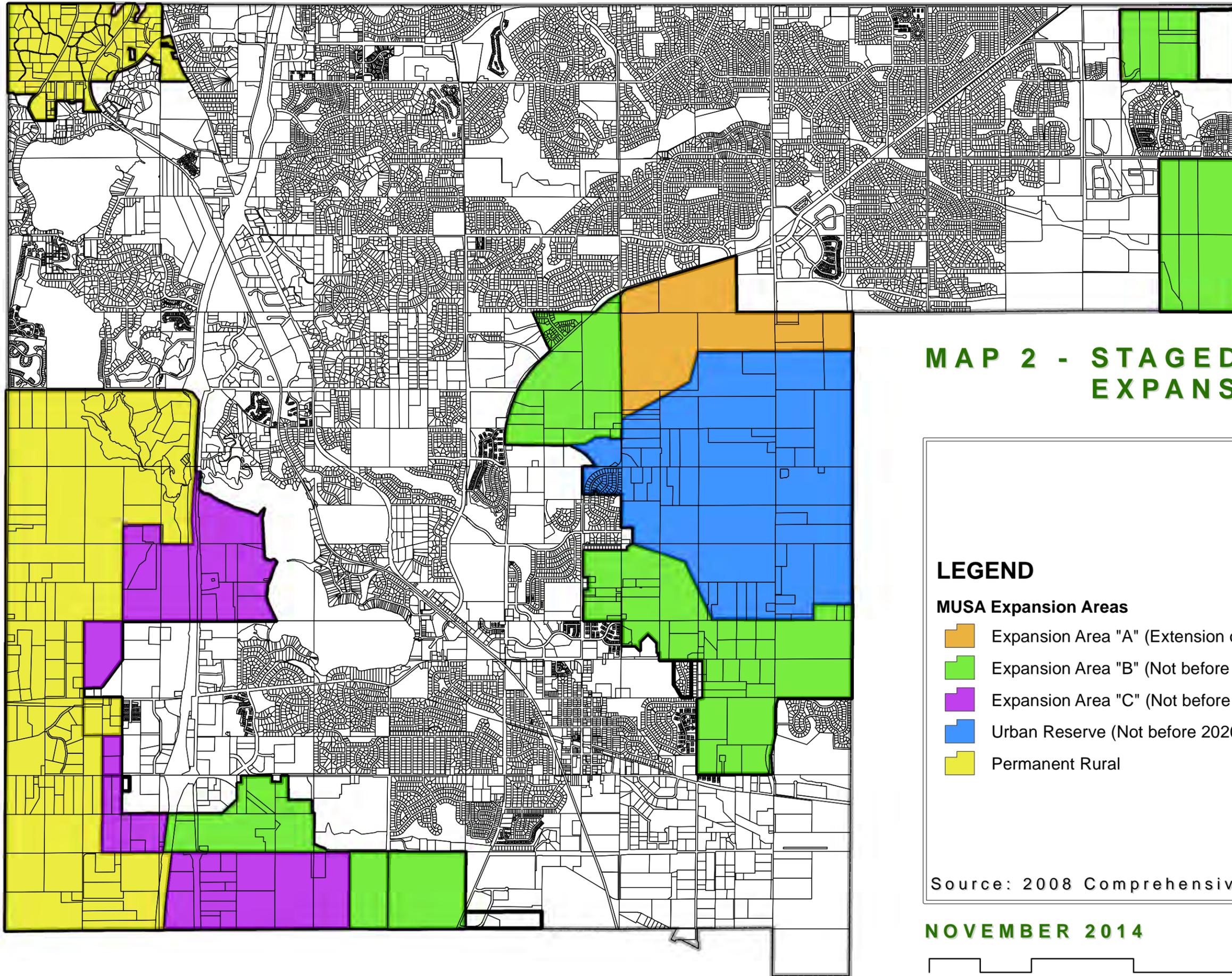
Source: 2008 Comprehensive Land Use Plan

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CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN



MAP 2 - STAGED MUSA EXPANSION AREAS

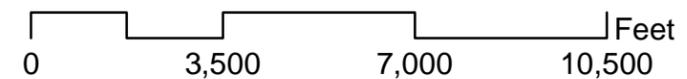
LEGEND

MUSA Expansion Areas

-  Expansion Area "A" (Extension of trunk water/sewer oversizing required)
-  Expansion Area "B" (Not before 2010)
-  Expansion Area "C" (Not before 2015)
-  Urban Reserve (Not before 2020)
-  Permanent Rural

Source: 2008 Comprehensive Land Use Plan

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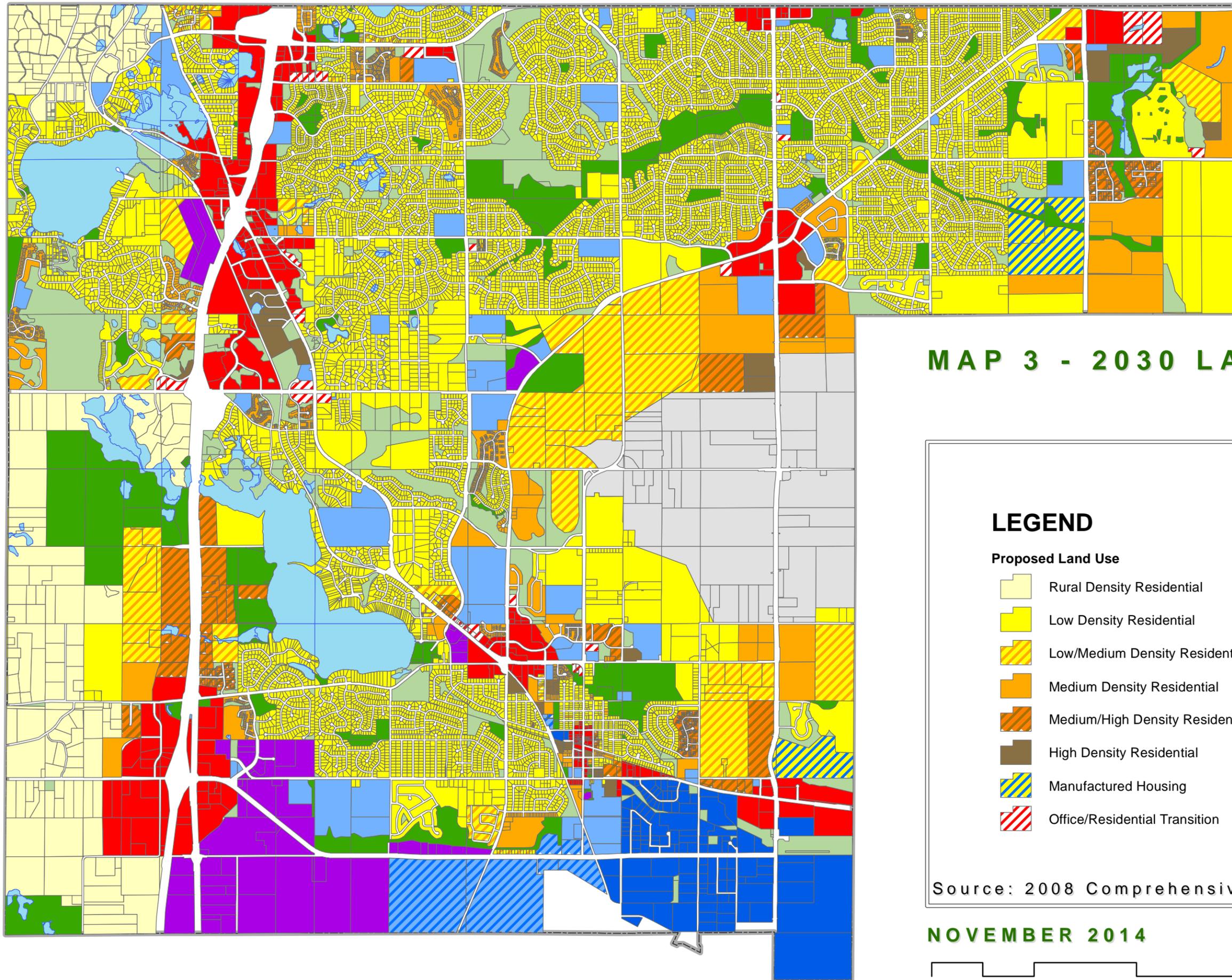


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**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 3 - 2030 LAND USE



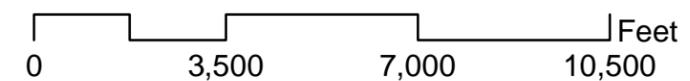
LEGEND

Proposed Land Use

- | | | | |
|--|---------------------------------|--|----------------------------|
| | Rural Density Residential | | Commercial |
| | Low Density Residential | | Office Park |
| | Low/Medium Density Residential | | Warehouse/Light Industrial |
| | Medium Density Residential | | Industrial |
| | Medium/High Density Residential | | Public and Quasi-Public |
| | High Density Residential | | Parks |
| | Manufactured Housing | | Restricted Development |
| | Office/Residential Transition | | Special Plan Area |
| | | | Water |

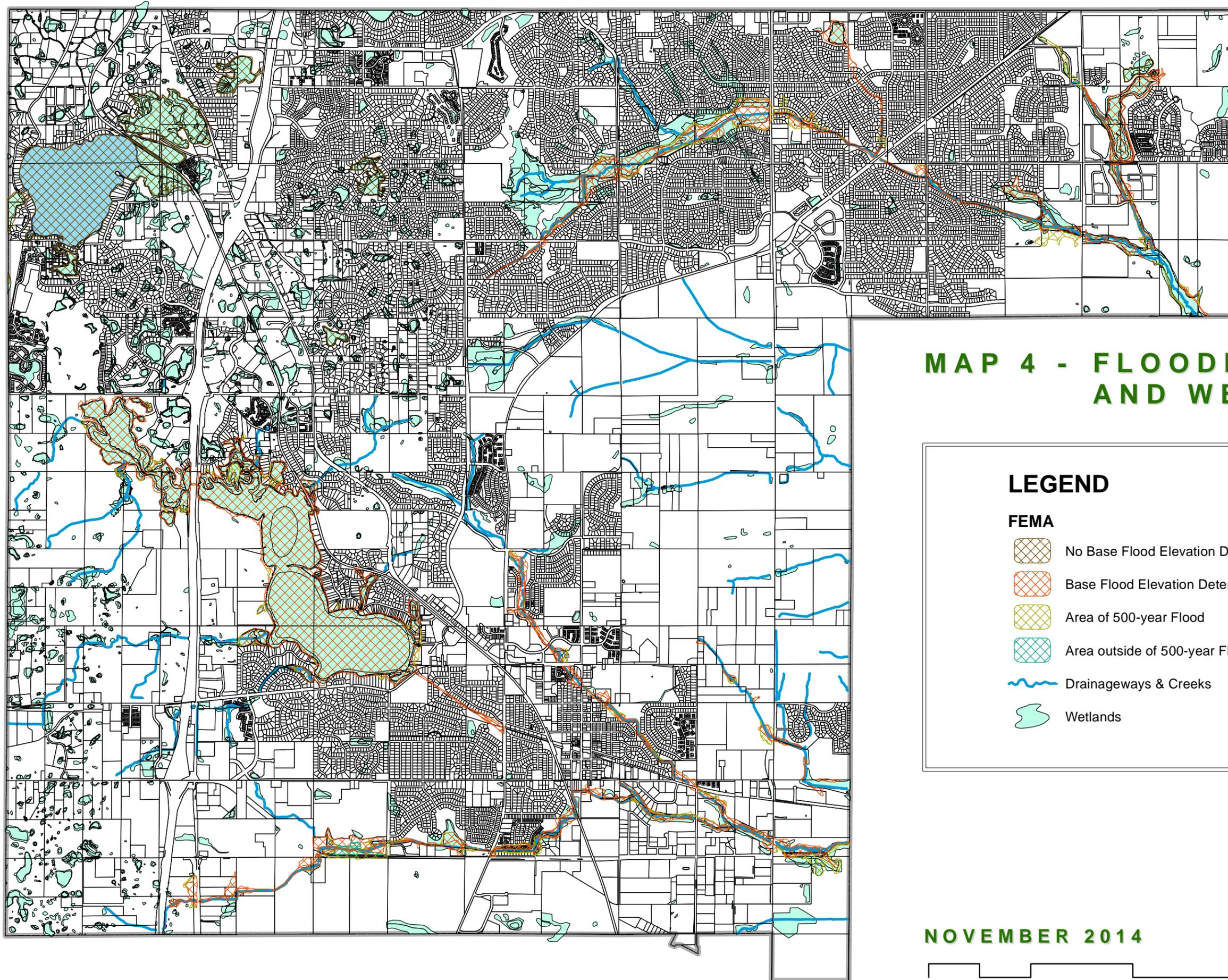
Source: 2008 Comprehensive Land Use Plan

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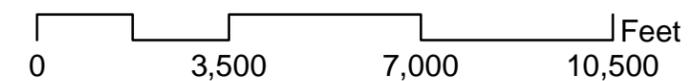
MAP 4 - FLOODPLAINS AND WETLANDS

LEGEND

FEMA

-  No Base Flood Elevation Determined
-  Base Flood Elevation Determined
-  Area of 500-year Flood
-  Area outside of 500-year Flood
-  Drainageways & Creeks
-  Wetlands

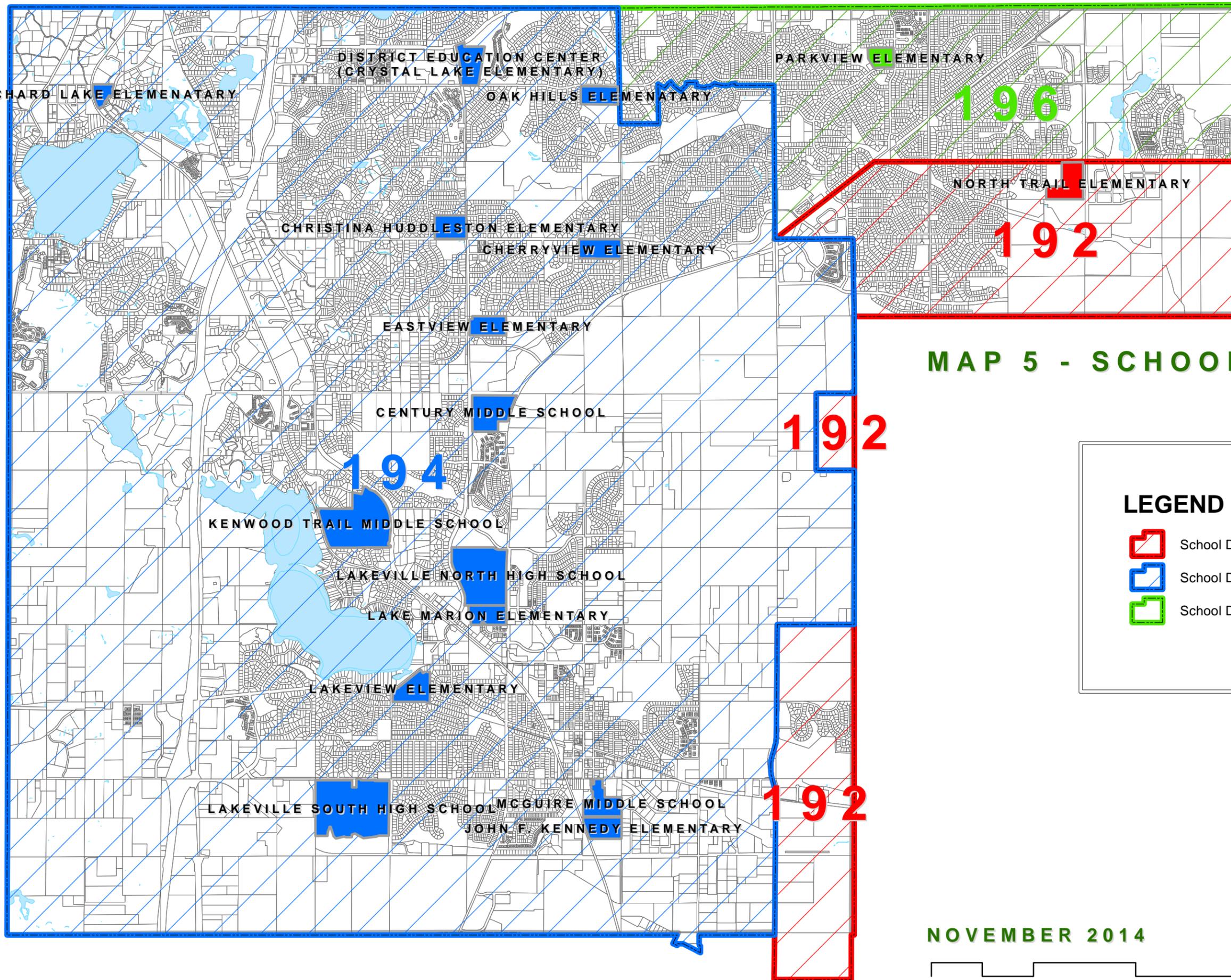
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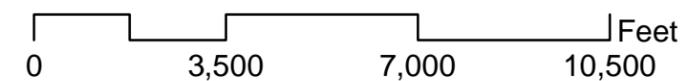
MAP 5 - SCHOOL DISTRICTS



LEGEND

- School District 192 - Farmington
- School District 194 - Lakeville
- School District 196 - Apple Valley

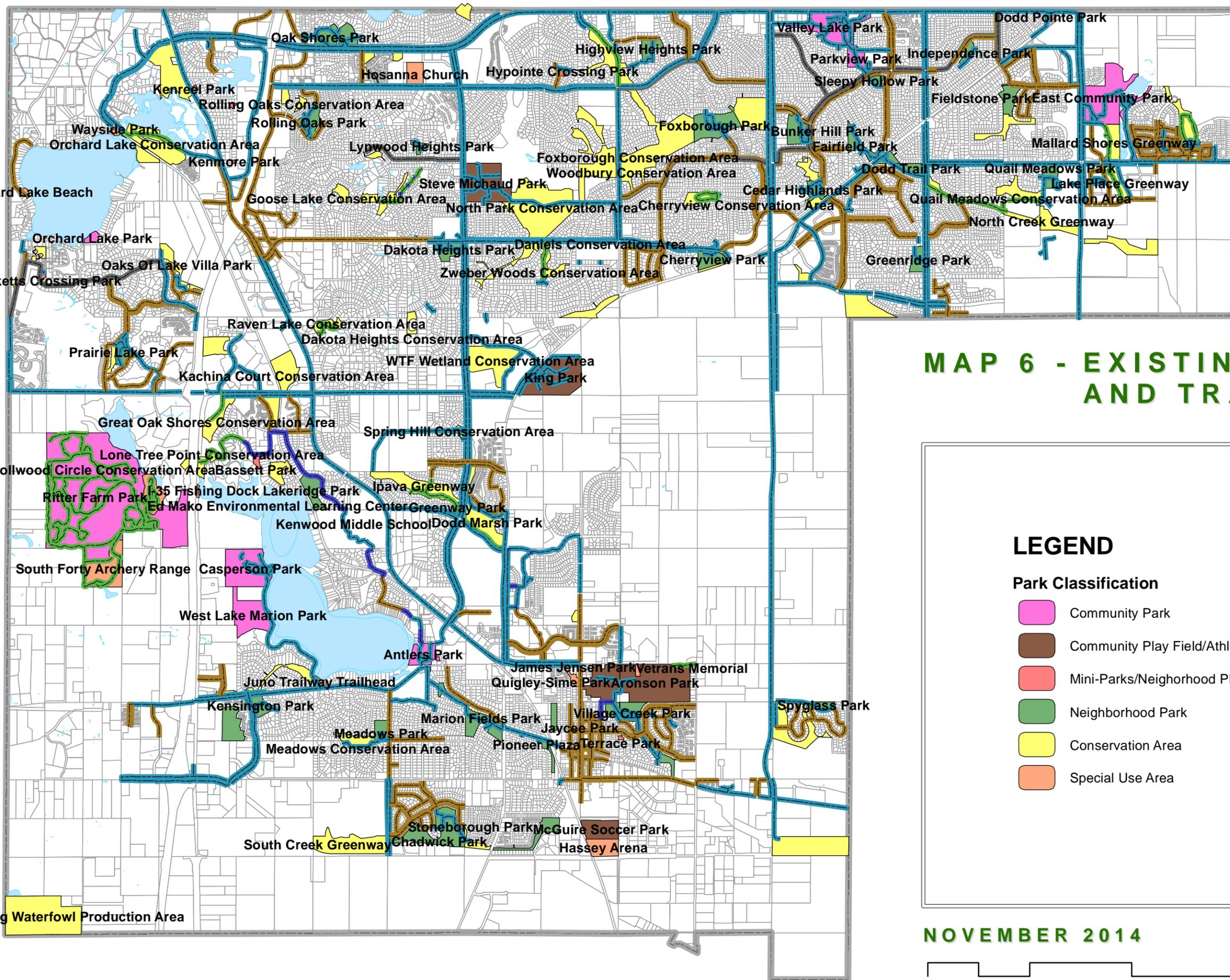
NOVEMBER 2014





**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

**MAP 6 - EXISTING PARKS
AND TRAILS**



LEGEND

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area

Trail Classification

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

NOVEMBER 2014

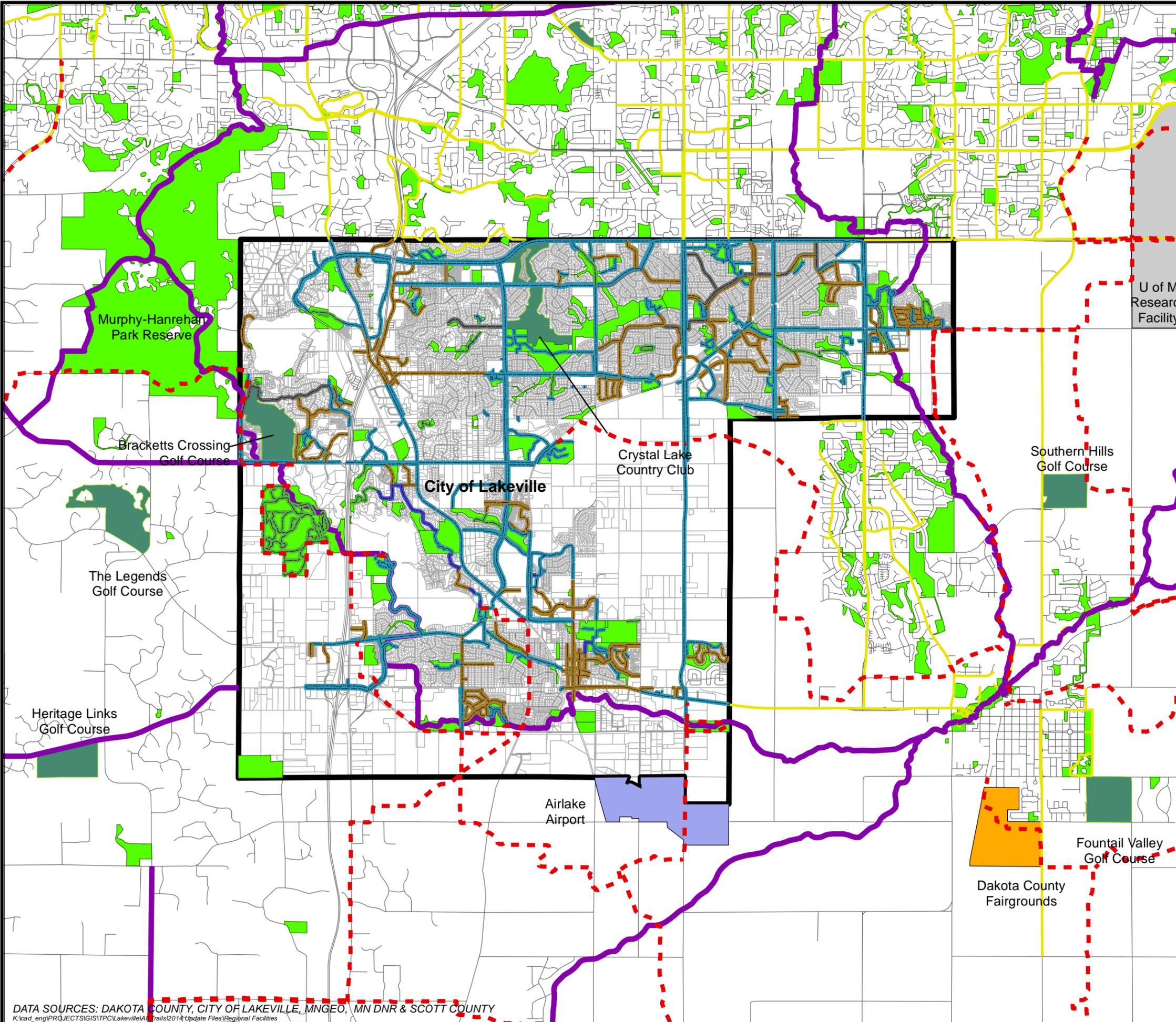




CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN
**MAP 7 - REGIONAL
FACILITIES**

LEGEND

-  Proposed Regional Trails
 -  Regional Bikeways
- Lakeville Trails**
-  Greenway
 -  On-Street Trail
 -  Bike Lane
 -  Multi-purpose Trail
 -  Sidewalk
 -  Snowmobile Trail
 -  Golf Course
 -  Parks
 -  Municipal Boundaries



DATA SOURCES: DAKOTA COUNTY, CITY OF LAKEVILLE, MNGEO, MN DNR & SCOTT COUNTY
K:\cad_eng\PROJECTS\SIGS\TPCLakeville\Trails2014 Update Files\Regional Facilities



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

**MAP 8 - DAKOTA
COUNTY EXISTING
PARKS & REGIONAL
TRAILS MAP**

**VISION FOR 2030:
DAKOTA COUNTY PARK
SYSTEM PLAN**



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CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN

MAP 9 - DAKOTA
COUNTY PROPOSED
TRAIL PLAN

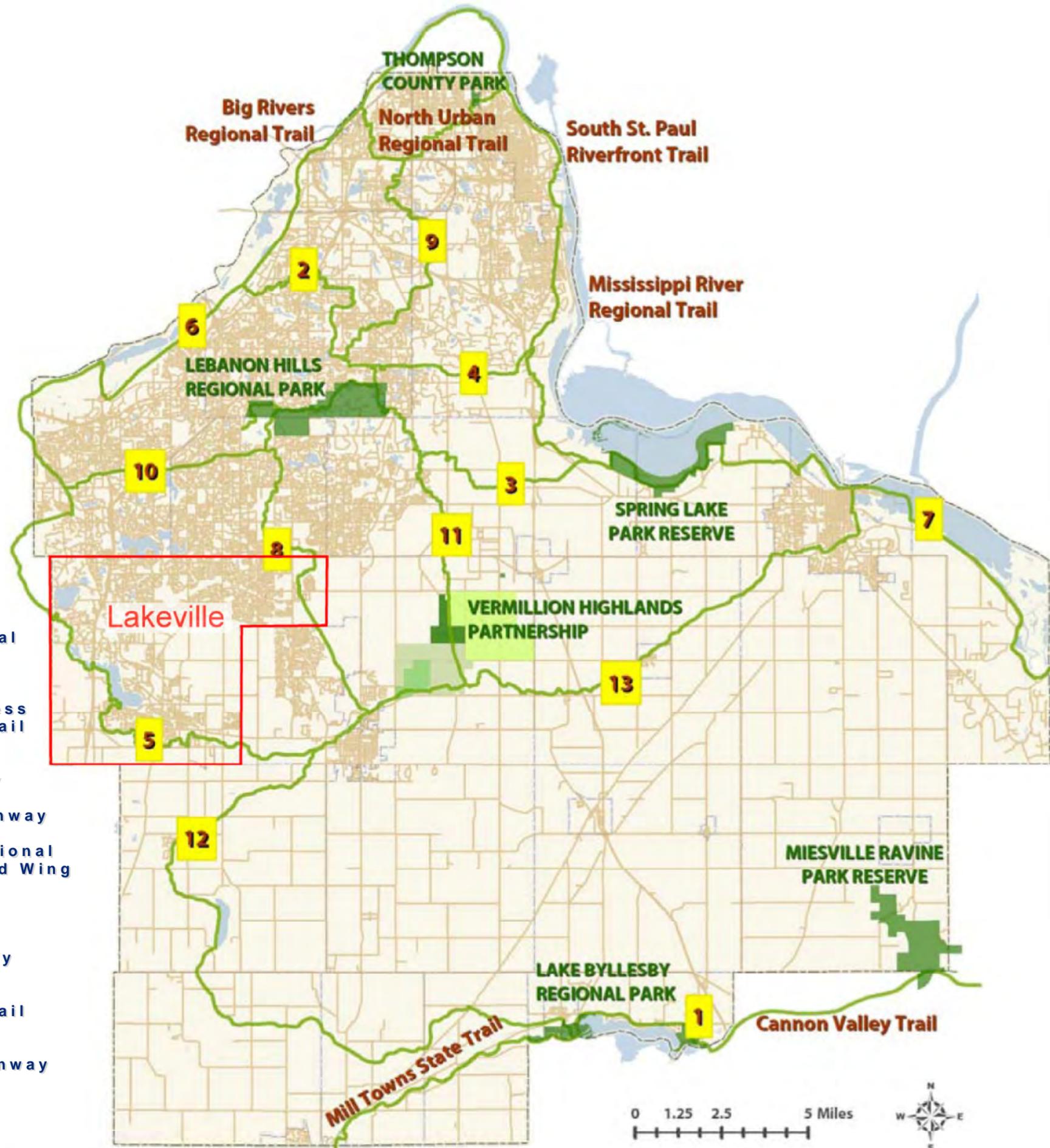
VISION FOR 2030:
DAKOTA COUNTY PARK
SYSTEM PLAN



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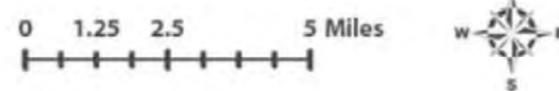
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NOTE: NOT ALL ROUTES SHOWN ON THE MAP HAVE BEEN PLANNED IN DETAIL, FUNDED, OR GIVEN AN OFFICAL NAME.

FUTURE TRAILS

1. Cannon Valley Regional Trail Link
2. Eagan Greenway Regional Trail
3. Rosemount River Access Greenway Regional Trail
4. Highline Greenway Regional Trail
5. Lake Marion Greenway Regional Trail
6. Minnesota River Greenway Regional Trail
7. Mississippi River Regional Trail: Hastings to Red Wing
8. North Creek Greenway Regional Trail
9. Rich Valley Greenway Regional Trail
10. Terrace Oaks Greenway Regional Trail
11. Vermillion Highlands Greenway Regional Trail
12. Chub Creek Greenway Regional Trail
13. Vermillion River Greenway Regional Trail





CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN

MAP 10 - DAKOTA
COUNTY GREENWAY
PRIORITY PLAN

VISION FOR 2030:
DAKOTA COUNTY PARK
SYSTEM PLAN



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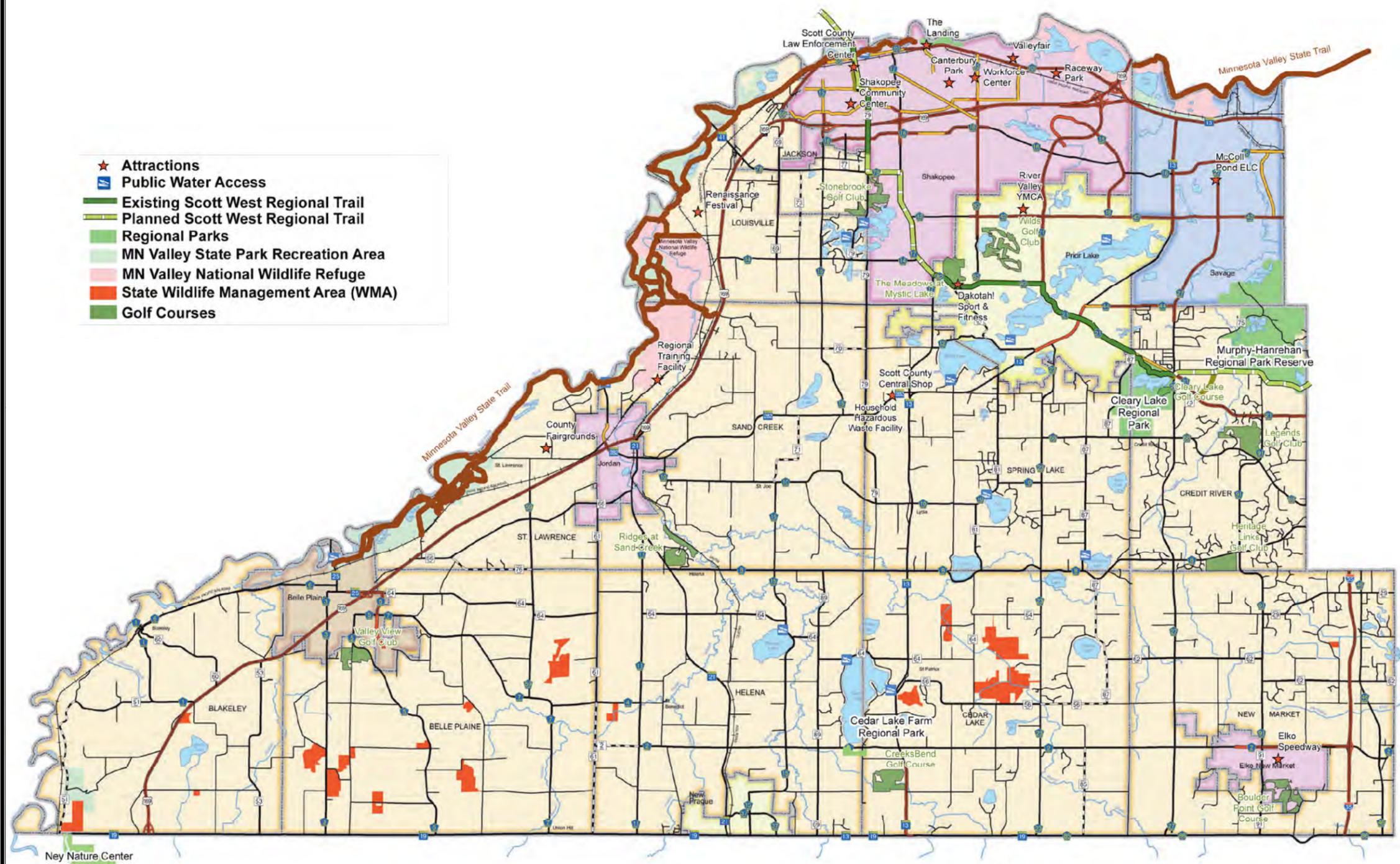


DATA SOURCES: DAKOTA COUNTY
K:\cad_eng\PROJECTS\GIS\TPCLakeville\2014 Update Files\Dakota County Greenway Priority Plan



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

**MAP 11 - EXISTING
SCOTT COUNTY
PARKS, TRAILS, &
RECREATION AREAS**



- ★ Attractions
- Public Water Access
- Existing Scott West Regional Trail
- Planned Scott West Regional Trail
- Regional Parks
- MN Valley State Park Recreation Area
- MN Valley National Wildlife Refuge
- State Wildlife Management Area (WMA)
- Golf Courses

**VISION FOR 2030:
SCOTT COUNTY PARK
SYSTEM PLAN**



NOVEMBER 2014



Map Created By:
Scott County GIS Dept. - JKH
May 3rd 2010

DATA SOURCES: SCOTT COUNTY
K:\cad_eng\PROJECTS\GIS\TPCLakeville2014 Update Files\Scott County Parks and Trails Plan



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

**MAP 12 - SCOTT
COUNTY PROPOSED
PARK & TRAIL PLAN**

**VISION FOR 2030:
SCOTT COUNTY PARK
SYSTEM PLAN**



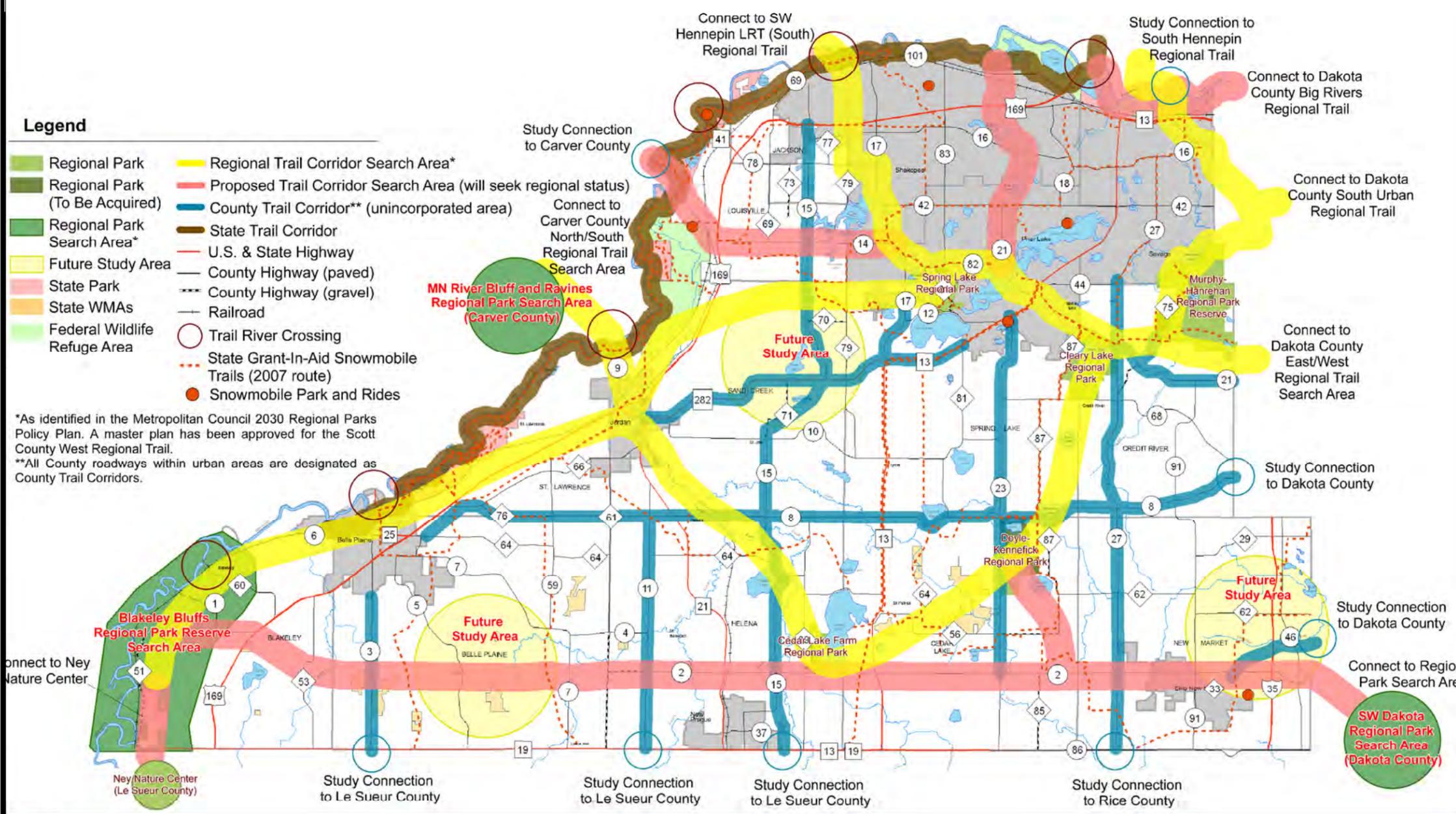
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Legend

- Regional Park
- Regional Park (To Be Acquired)
- Regional Park Search Area*
- Future Study Area
- State Park
- State WMAs
- Federal Wildlife Refuge Area
- Regional Trail Corridor Search Area*
- Proposed Trail Corridor Search Area (will seek regional status)
- County Trail Corridor** (unincorporated area)
- State Trail Corridor
- U.S. & State Highway
- County Highway (paved)
- County Highway (gravel)
- Railroad
- Trail River Crossing
- State Grant-In-Aid Snowmobile Trails (2007 route)
- Snowmobile Park and Rides

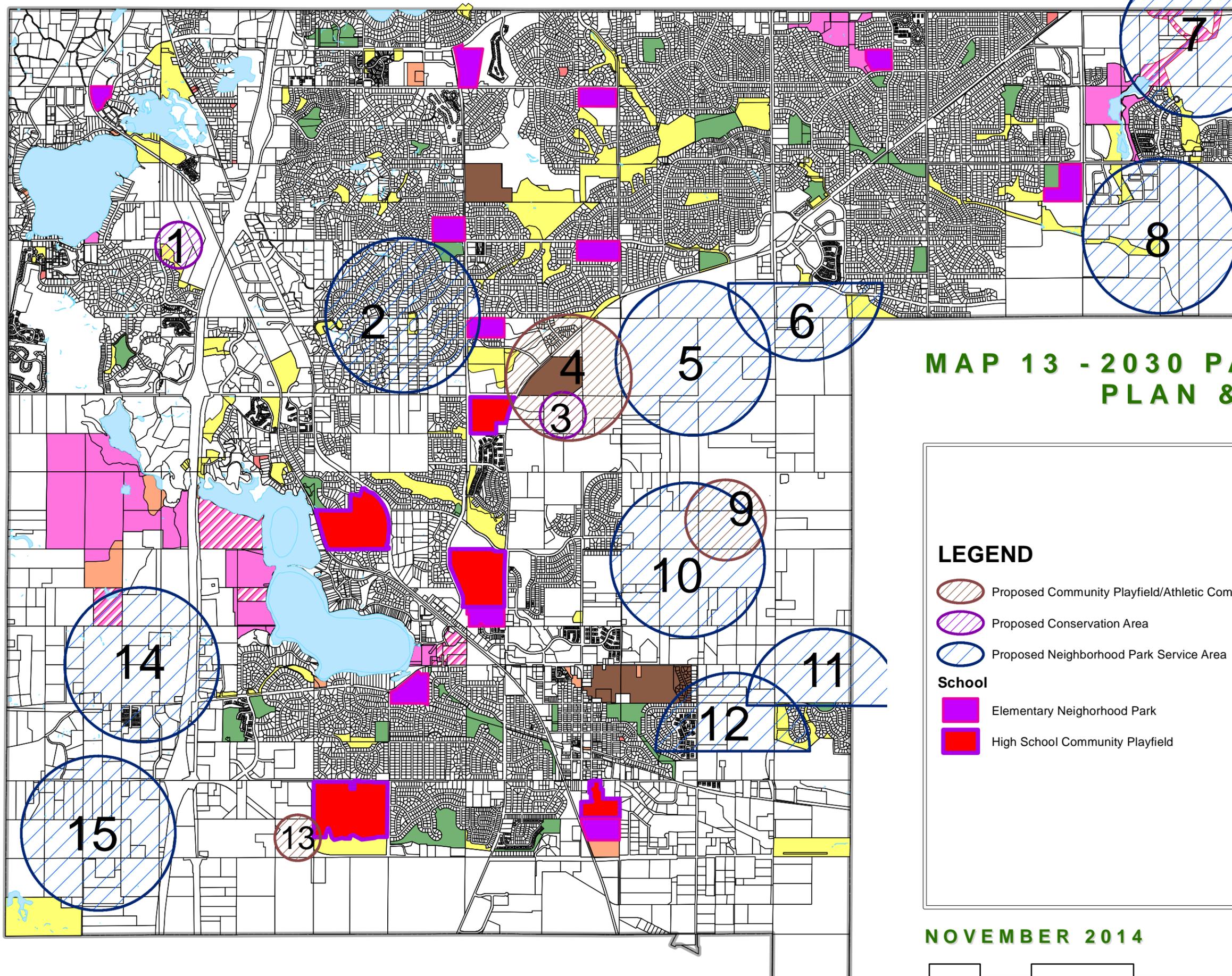
*As identified in the Metropolitan Council 2030 Regional Parks Policy Plan. A master plan has been approved for the Scott County West Regional Trail.
**All County roadways within urban areas are designated as County Trail Corridors.





CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN

MAP 13 - 2030 PARK SYSTEM
PLAN & SERVICE AREAS



LEGEND

- | | | | |
|--|---|----------------------------|---------------------------------------|
| | Proposed Community Playfield/Athletic Complex | Park Classification | |
| | Proposed Conservation Area | | Community Park |
| | Proposed Neighborhood Park Service Area | | Community Play Field/Athletic Complex |
| | School | | Mini-Parks/Neighborhood Play Lot |
| | Elementary Neighborhood Park | | Neighborhood Park |
| | High School Community Playfield | | Conservation Area |
| | | | Special Use Area |
| | | | Neighboring City Park |
| | | | Community Park Expansion |

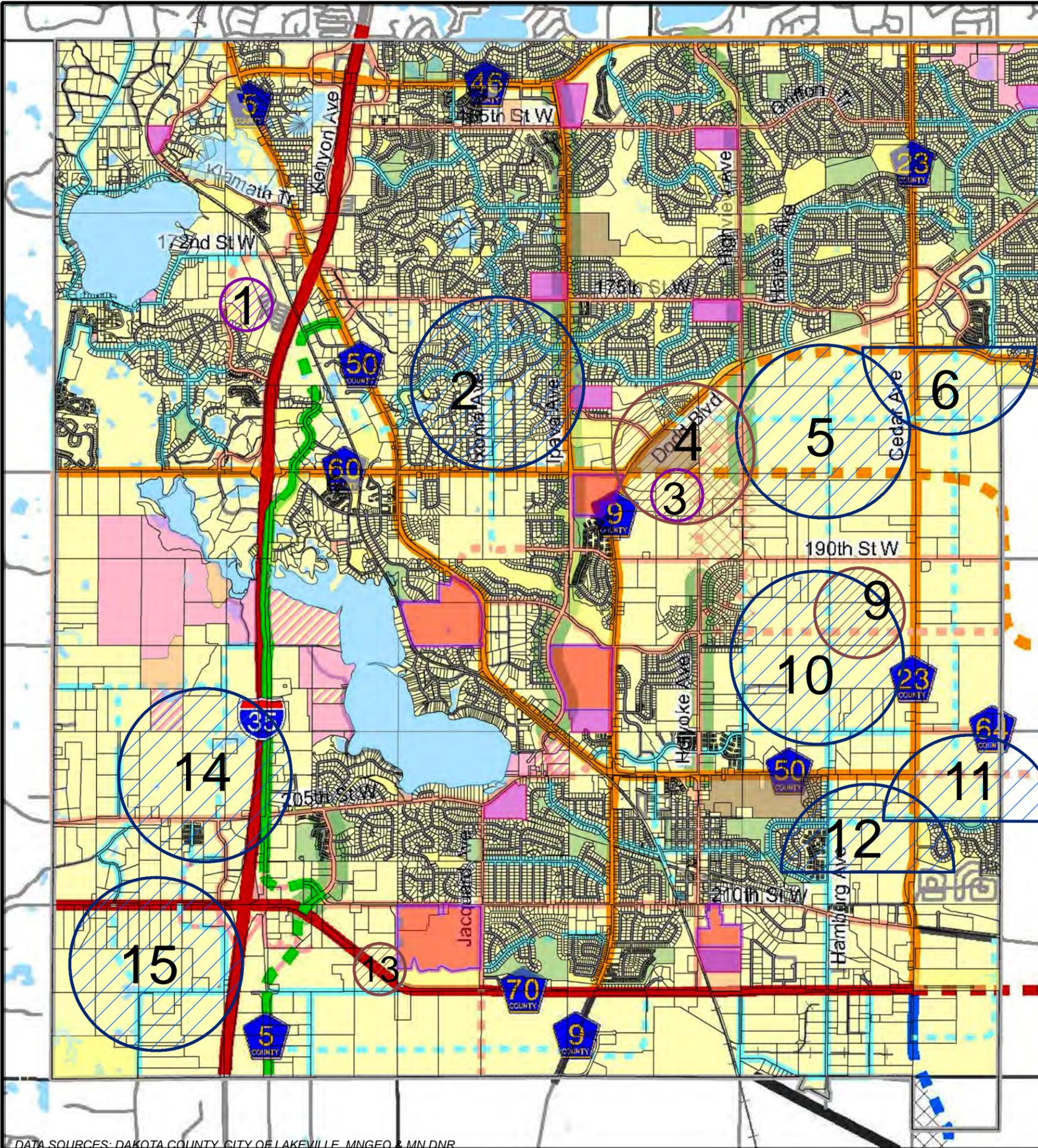
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& OPEN SPACE PLAN**

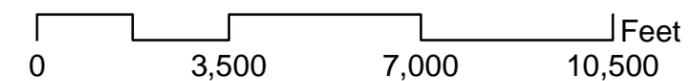
**MAP 13A - 2030 PARK SYSTEM
PLAN & SERVICE AREAS**



LEGEND

	Proposed Community Playfield/Athletic Complex	Park Classification		Community Park
	Proposed Conservation Area		Community Play Field/Athletic Complex	
	Proposed Neighborhood Park Service Area		Mini-Parks/Neighborhood Play Lot	
	School		Neighborhood Park	
	Elementary Neighborhood Park		Conservation Area	
	High School Community Playfield		Special Use Area	
	Future Transportation Plan		Neighboring City Park	
	Principal Arterial		Community Park Expansion	
	A-Minor Expander (ROW 150')			
	A-Minor Connector (ROW 150')			
	A-Minor Reliever (ROW 100')			
	B-Minor Arterial (ROW 120')			
	Major Collector (ROW 100' - 120')			
	Minor Collector (ROW 66' - 80')			
	Future Roads			
	Parkway Design			
	New CSAH 70 Interchange			
	Highview Relocation Study Area			

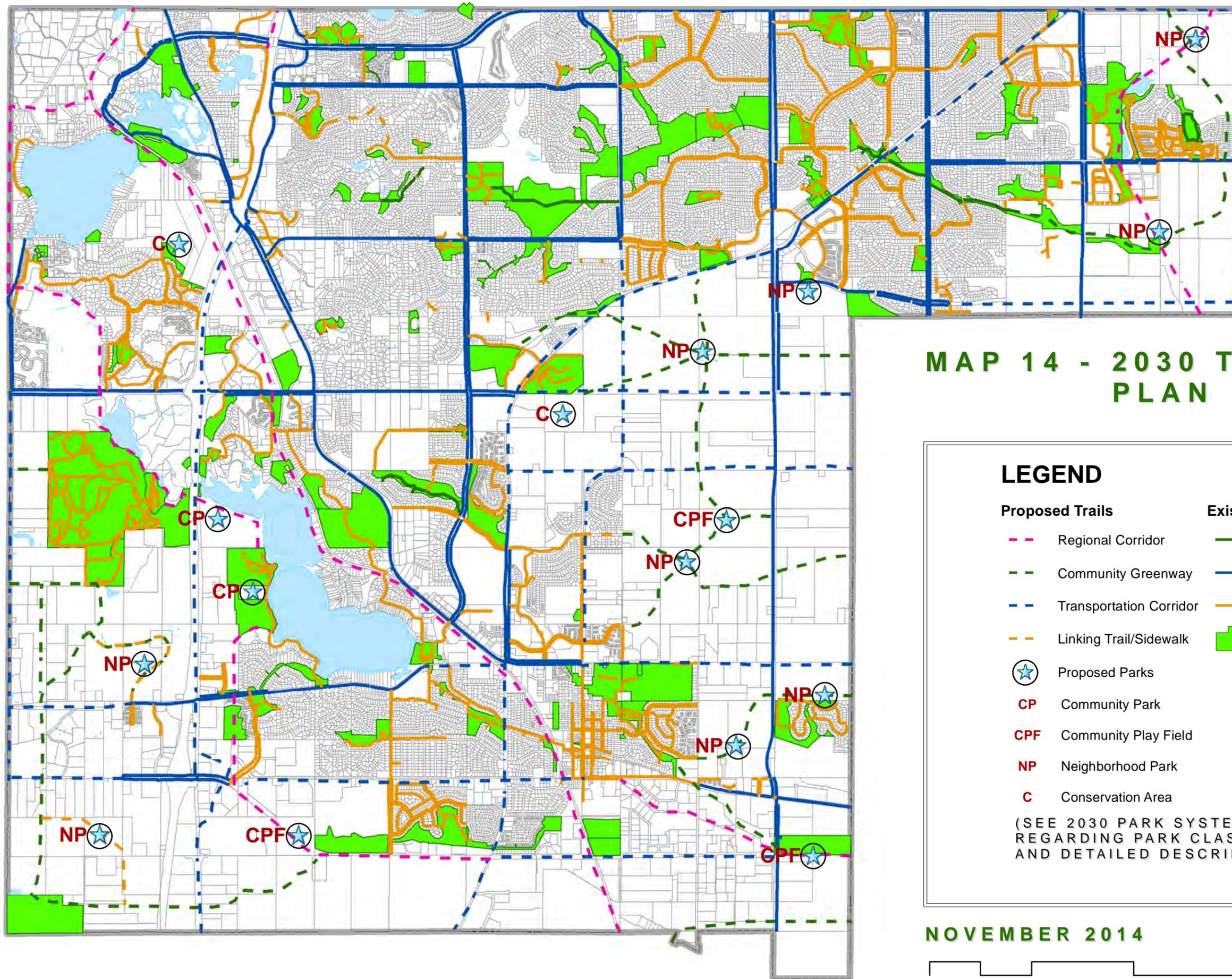
NOVEMBER 2014



DATA SOURCES: DAKOTA COUNTY, CITY OF LAKEVILLE, MNGEO & MN DNR
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CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN



MAP 14 - 2030 TRAIL SYSTEM
PLAN

LEGEND

Proposed Trails

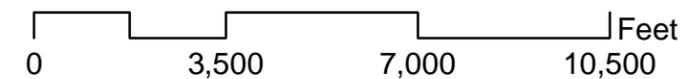
- - - Regional Corridor
- - - Community Greenway
- - - Transportation Corridor
- - - Linking Trail/Sidewalk
- ⊙ Proposed Parks
- CP Community Park
- CPF Community Play Field
- NP Neighborhood Park
- C Conservation Area

Existing Trails

- Destination Community Greenway
- Transportation Corridors
- Linking Trails/Sidewalks
- Existing City Parks

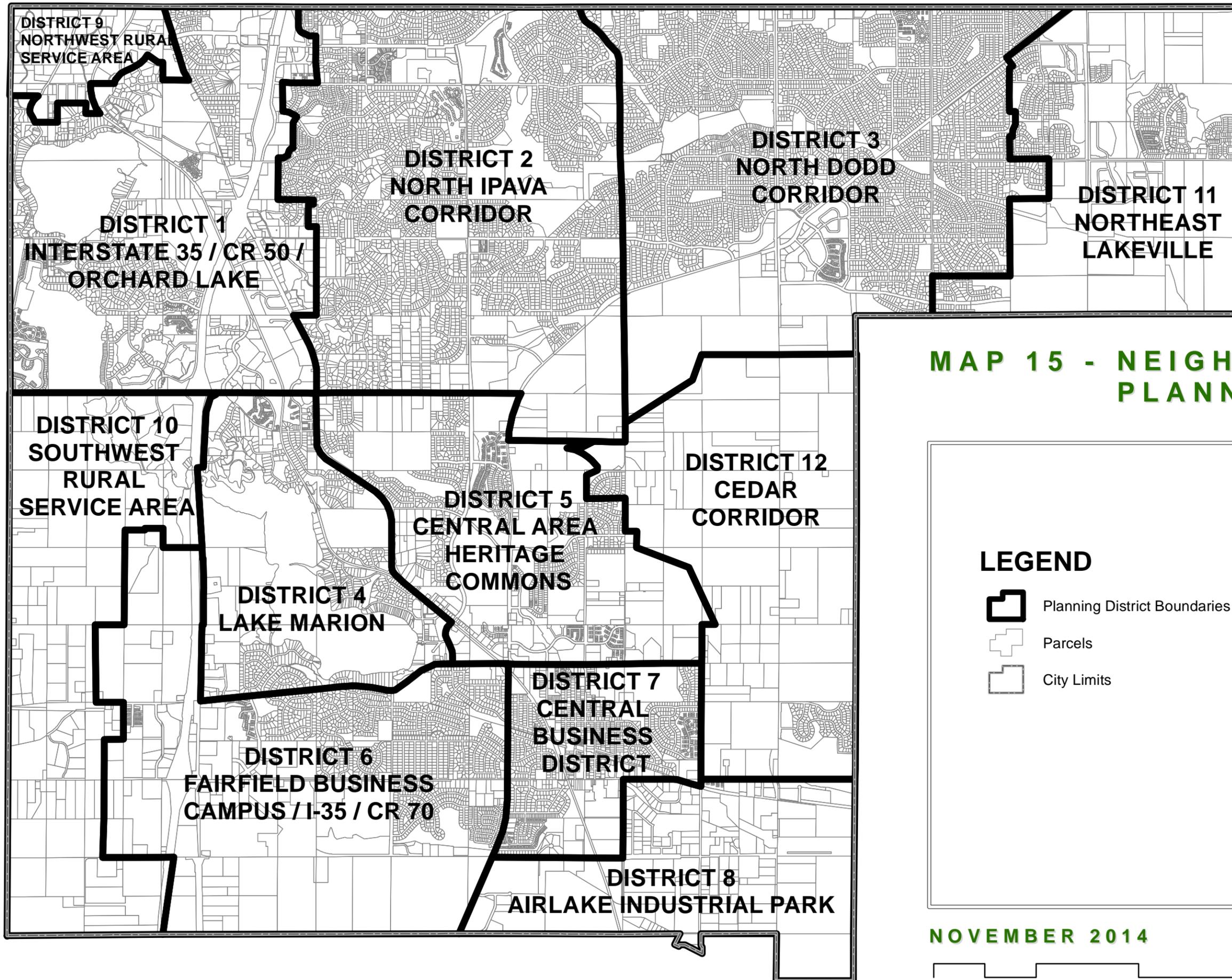
(SEE 2030 PARK SYSTEM PLAN
REGARDING PARK CLASSIFICATION
AND DETAILED DESCRIPTIONS)

NOVEMBER 2014





CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN



MAP 15 - NEIGHBORHOOD PLANNING DISTRICTS

LEGEND

-  Planning District Boundaries
-  Parcels
-  City Limits

NOVEMBER 2014

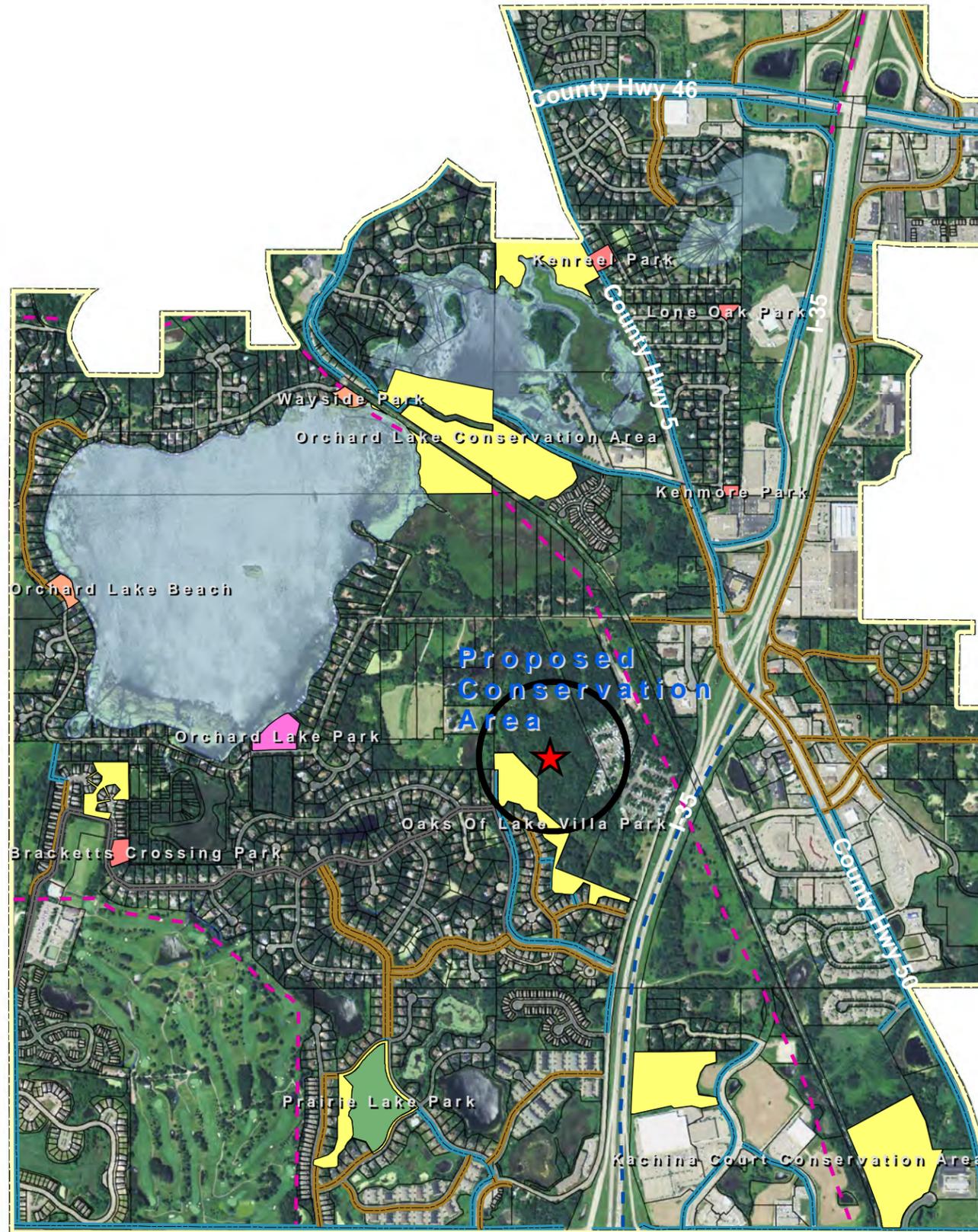
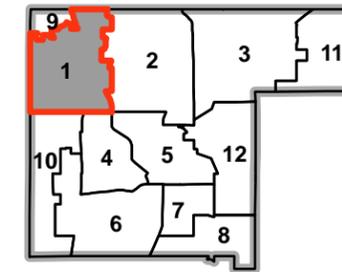


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CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN

MAP 16 - PLANNING DISTRICT 1



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

NOVEMBER 2014

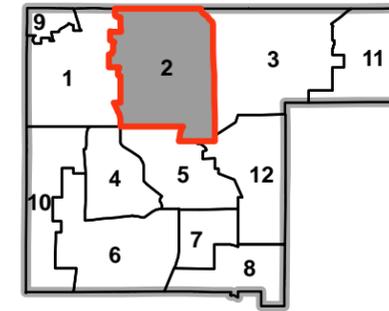
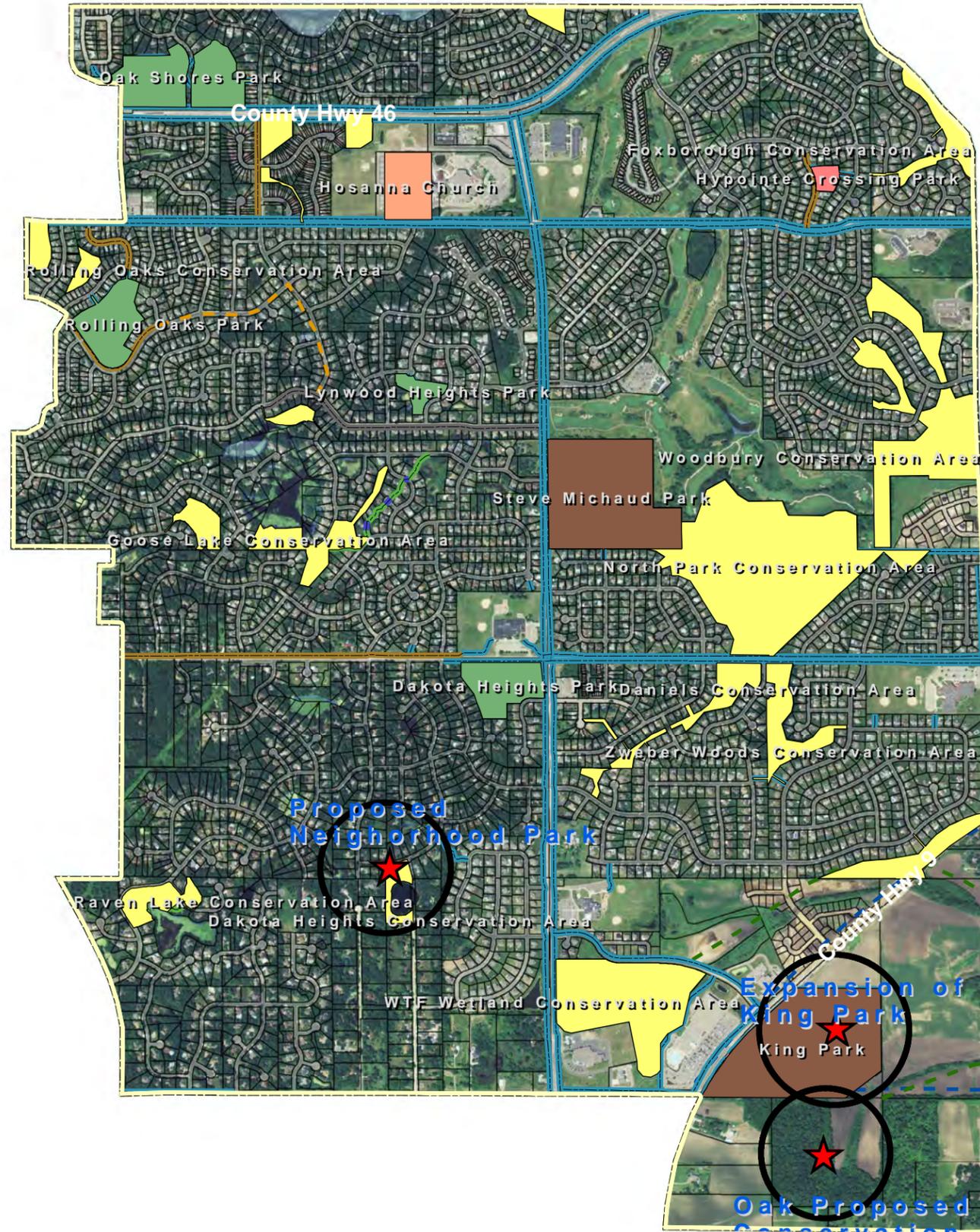


NORTH IPAVA CORRIDOR



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 17 - PLANNING DISTRICT 2



LEGEND

Existing Trails		Park Classification	
	Greenway		Community Park
	On-Street Trail		Community Play Field/Athletic Complex
	Bike Lane		Mini-Parks/Neighborhood Play Lot
	Multi-purpose Trail		Neighborhood Park
	Sidewalk		Conservation Area
Proposed Trails			Special Use Area
	Regional Corridor		Park Expansion
	Community Greenway		Planning District
	Transportation Corridor		Proposed Park
	Linking Trail/Sidewalk		

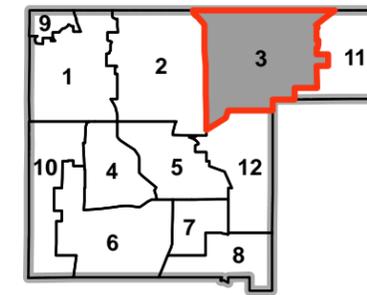
NOVEMBER 2014



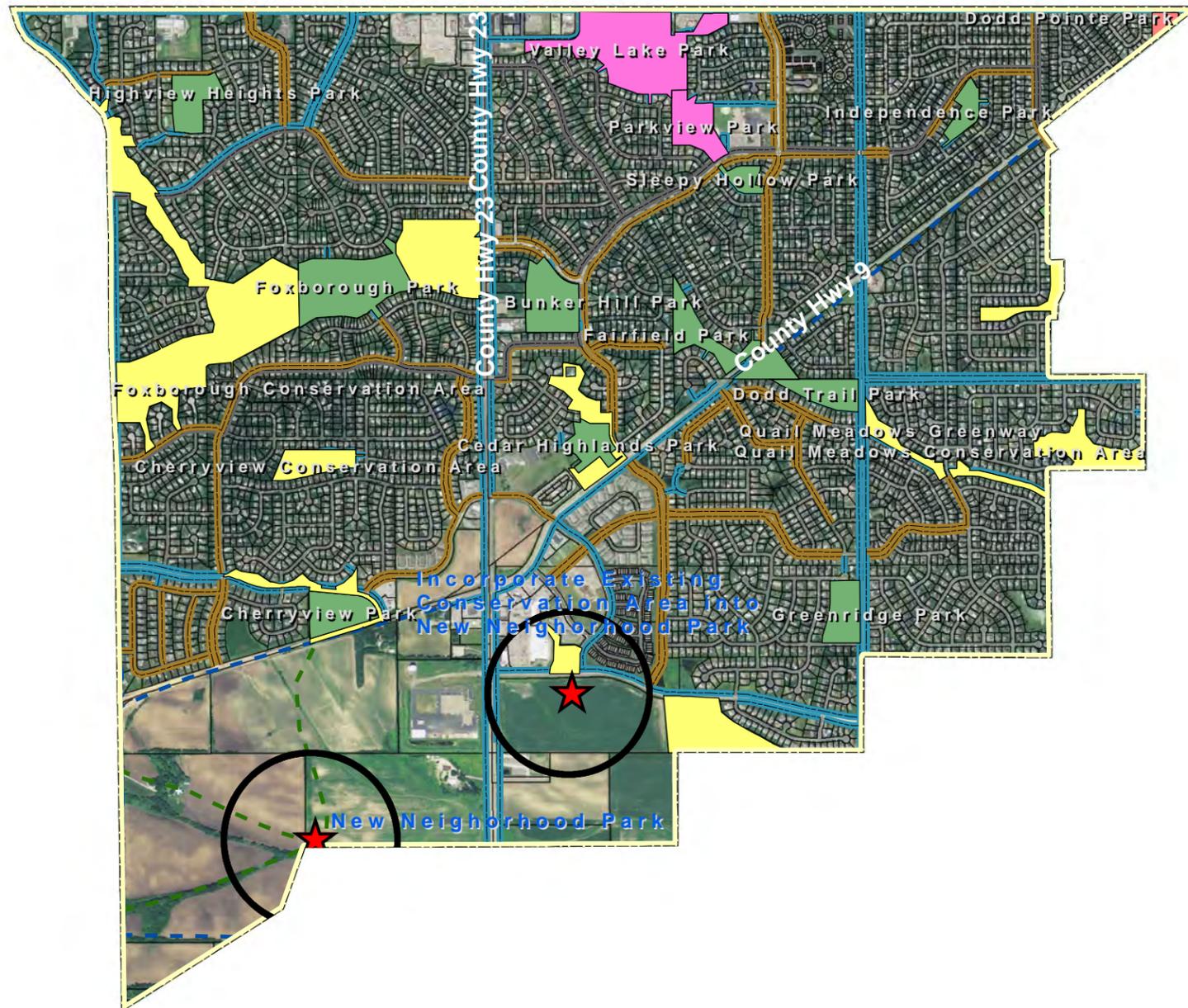
NORTH DODD CORRIDOR



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**



MAP 18 - PLANNING DISTRICT 3



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

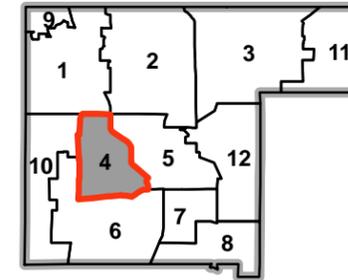
NOVEMBER 2014



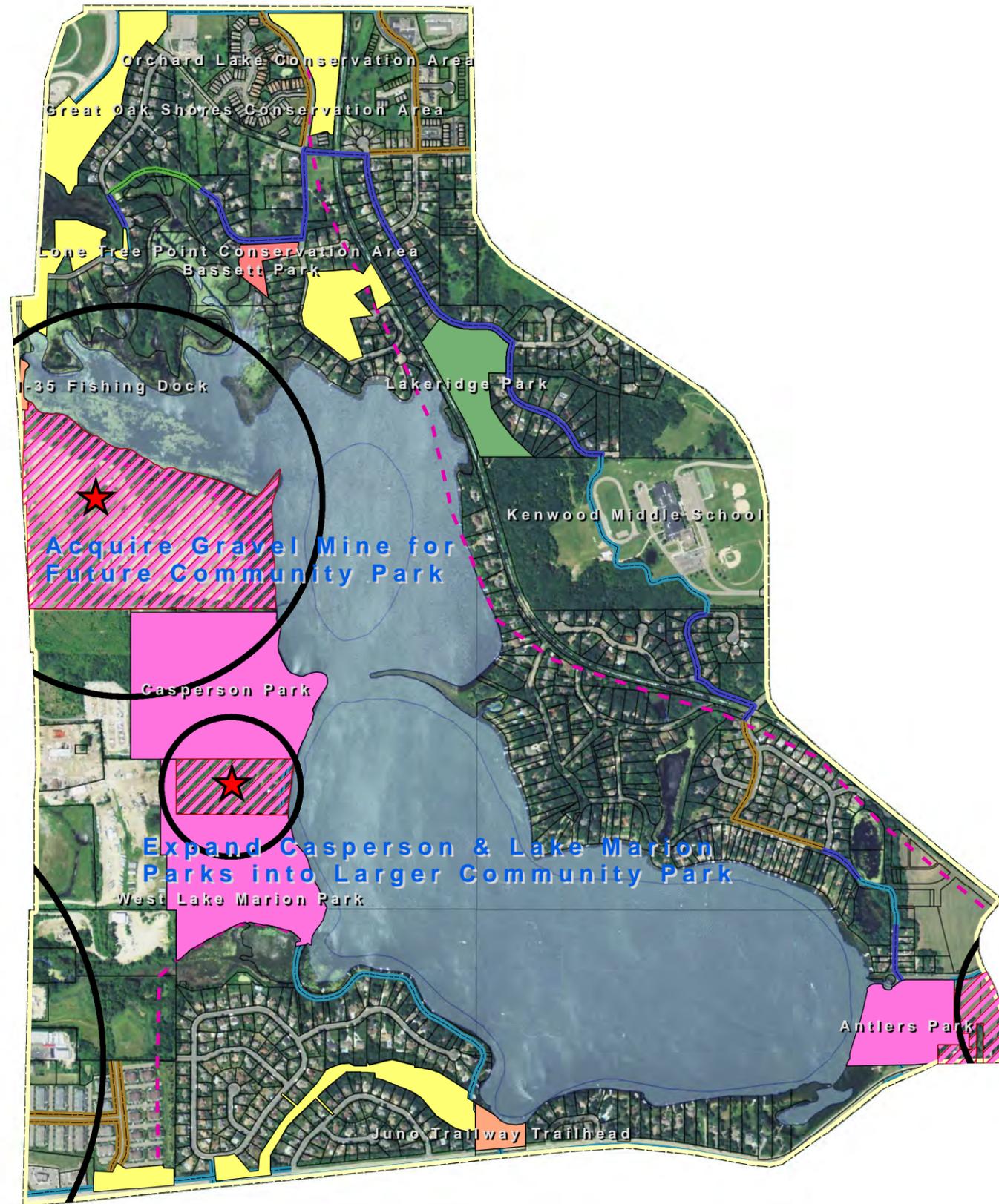
LAKE MARION



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
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MAP 19 - PLANNING DISTRICT 4



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

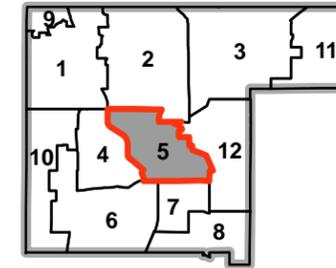
- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

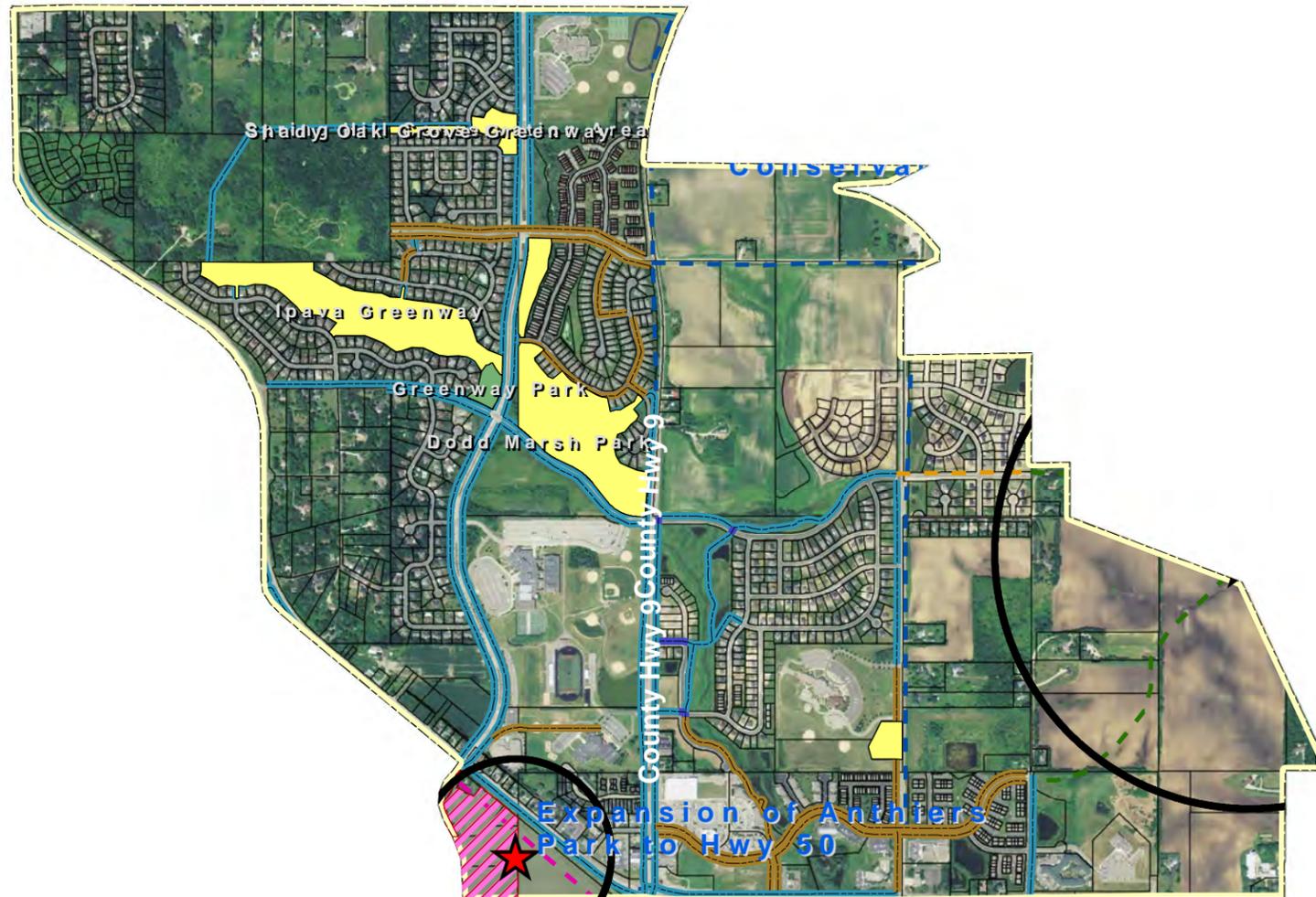
- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

NOVEMBER 2014





MAP 20 - PLANNING DISTRICT 5



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

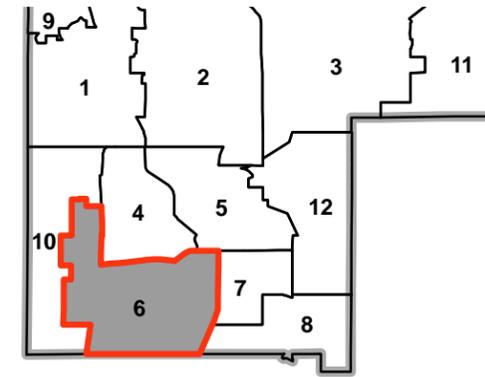
- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

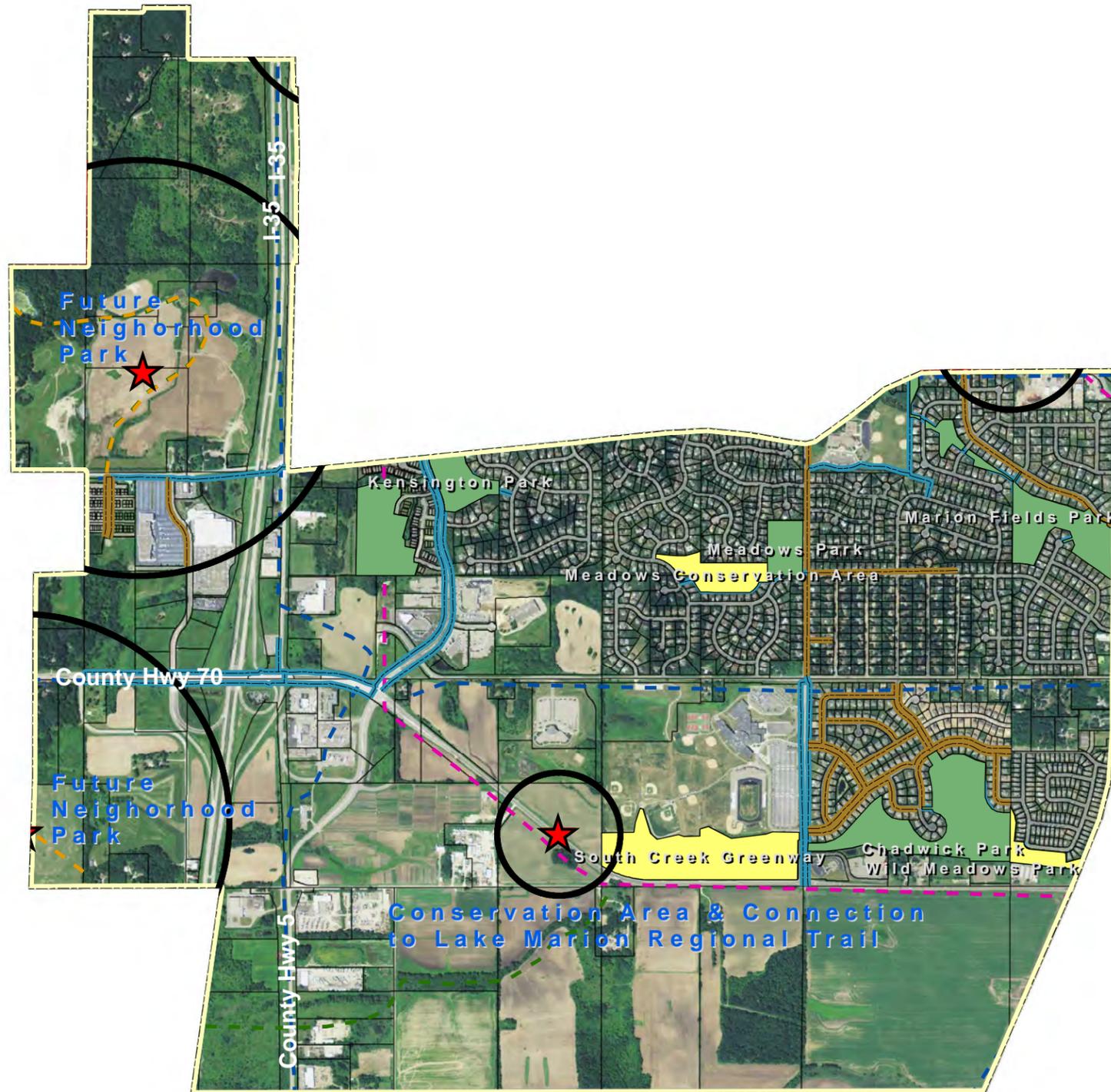
NOVEMBER 2014





CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN

MAP 21 - PLANNING DISTRICT 6



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

NOVEMBER 2014

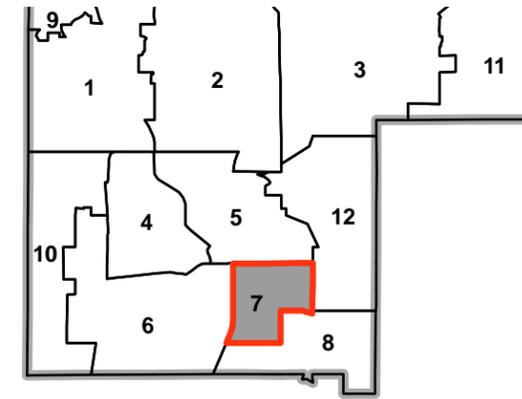
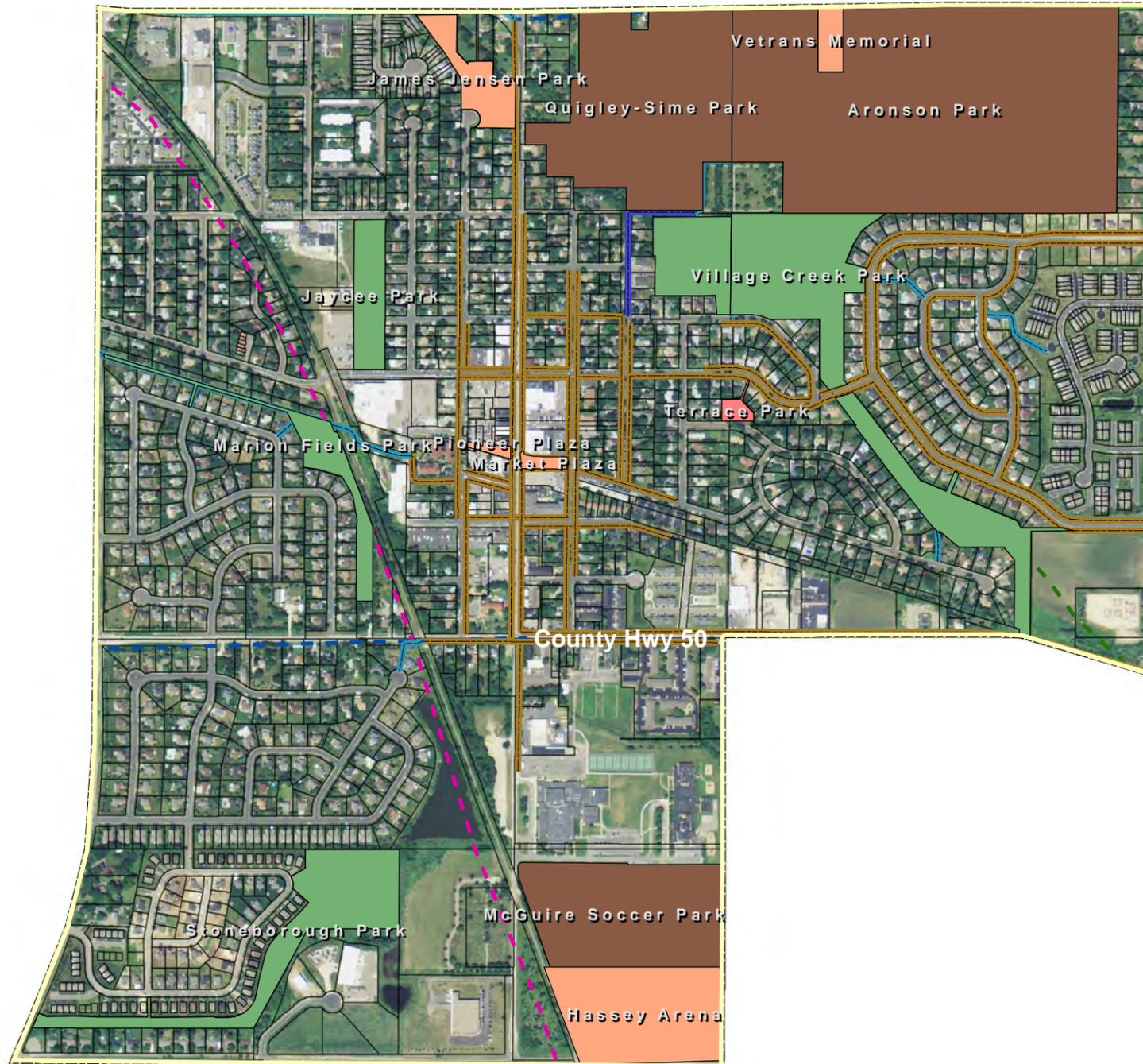


CENTRAL BUSINESS DISTRICT



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 22 - PLANNING DISTRICT 7



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

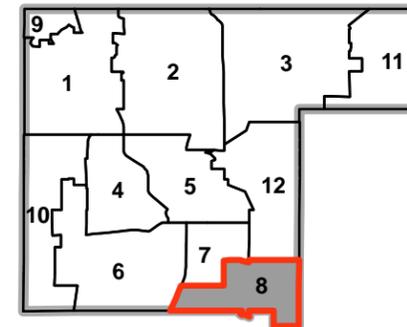
Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

NOVEMBER 2014

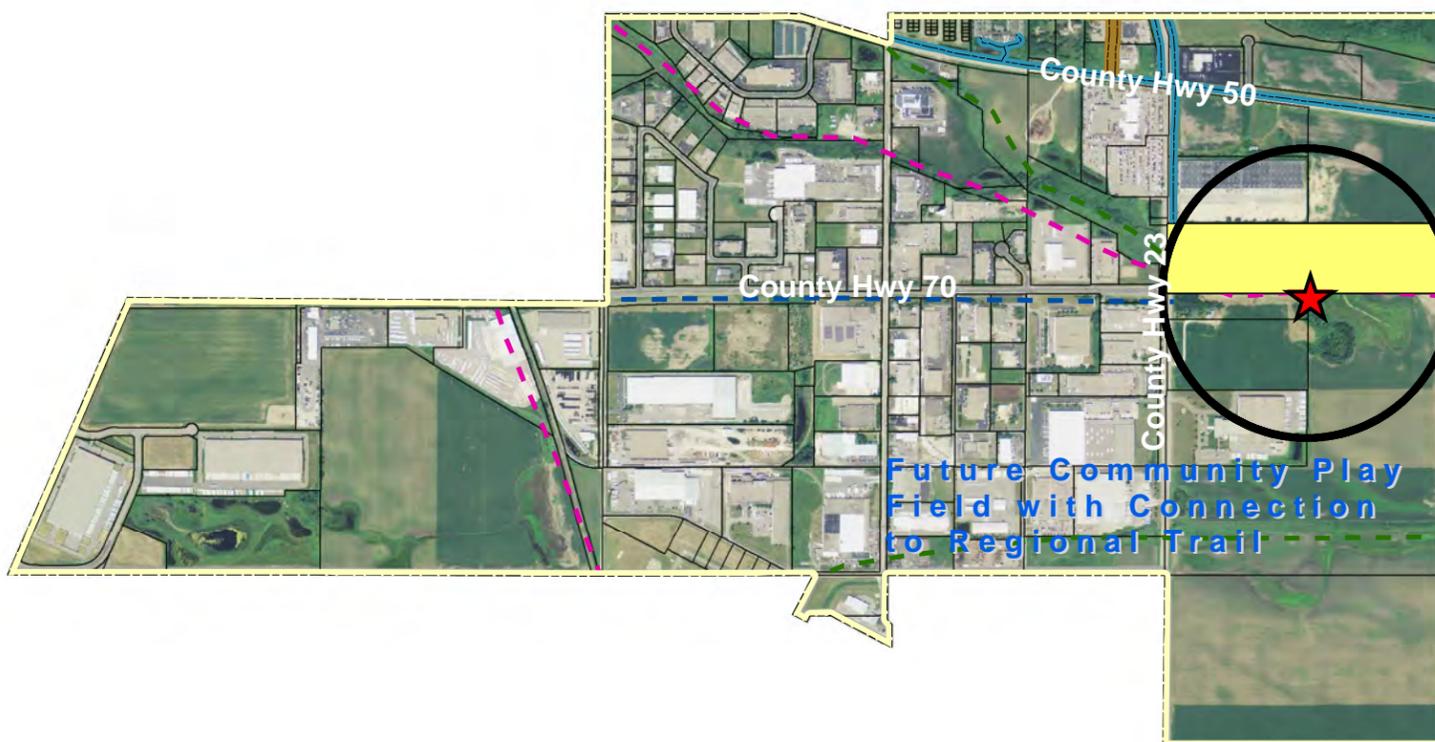


AIRLAKE INDUSTRIAL PARK



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 23 - PLANNING DISTRICT 8



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

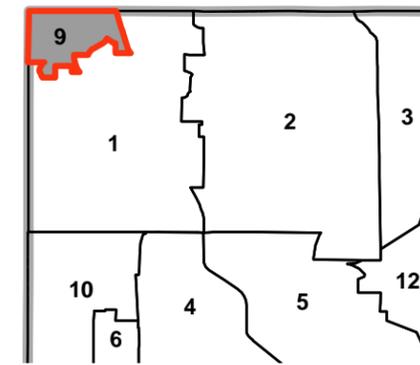
- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

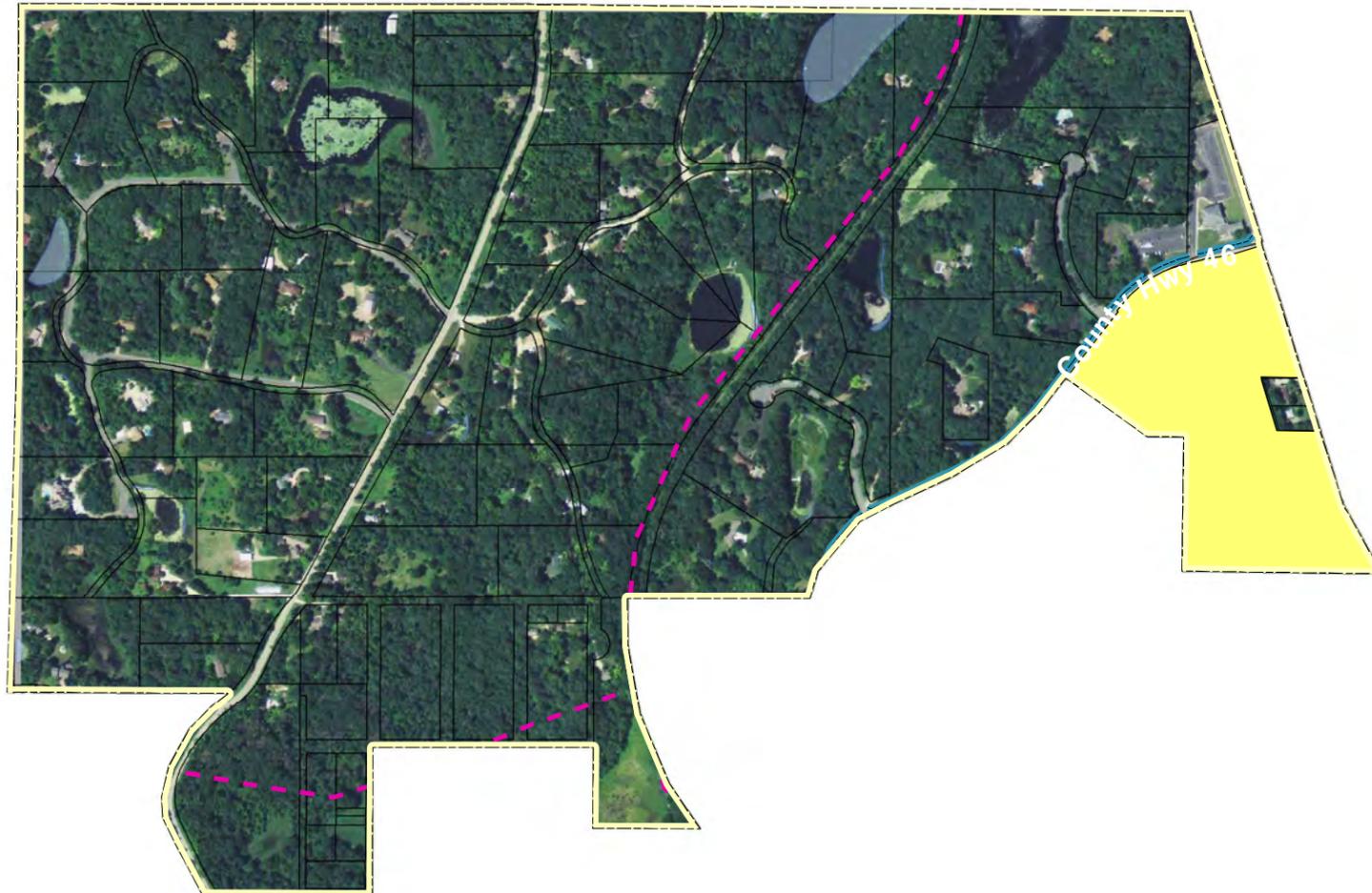
- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

NOVEMBER 2014





MAP 24 - PLANNING DISTRICT 9



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

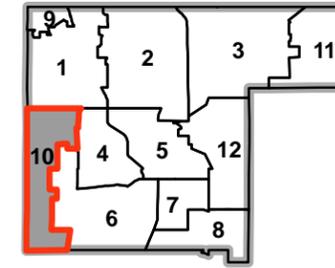
Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

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SOUTHWEST RURAL SERVICE AREA



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 25 - PLANNING DISTRICT 10

LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

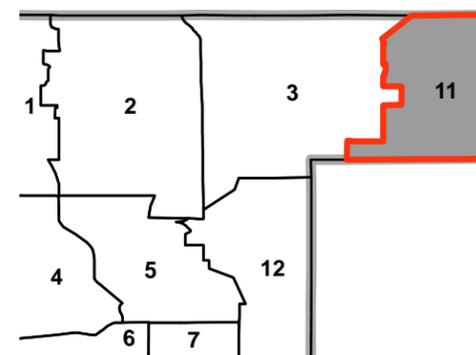
NOVEMBER 2014



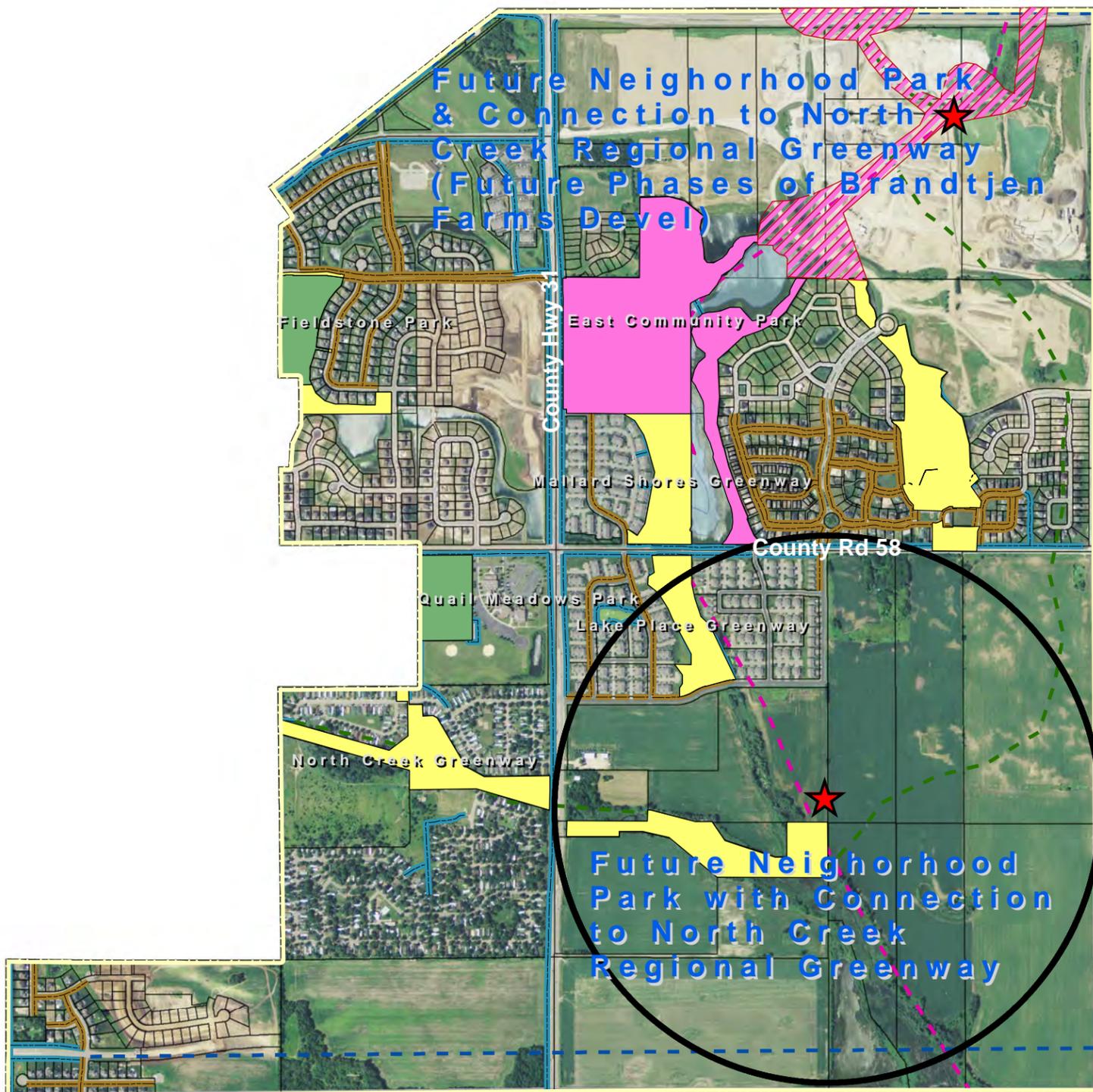
NORTHEAST LAKEVILLE



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**



MAP 26 - PLANNING DISTRICT 11



LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

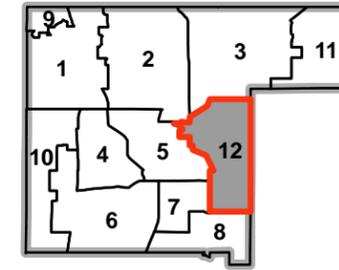
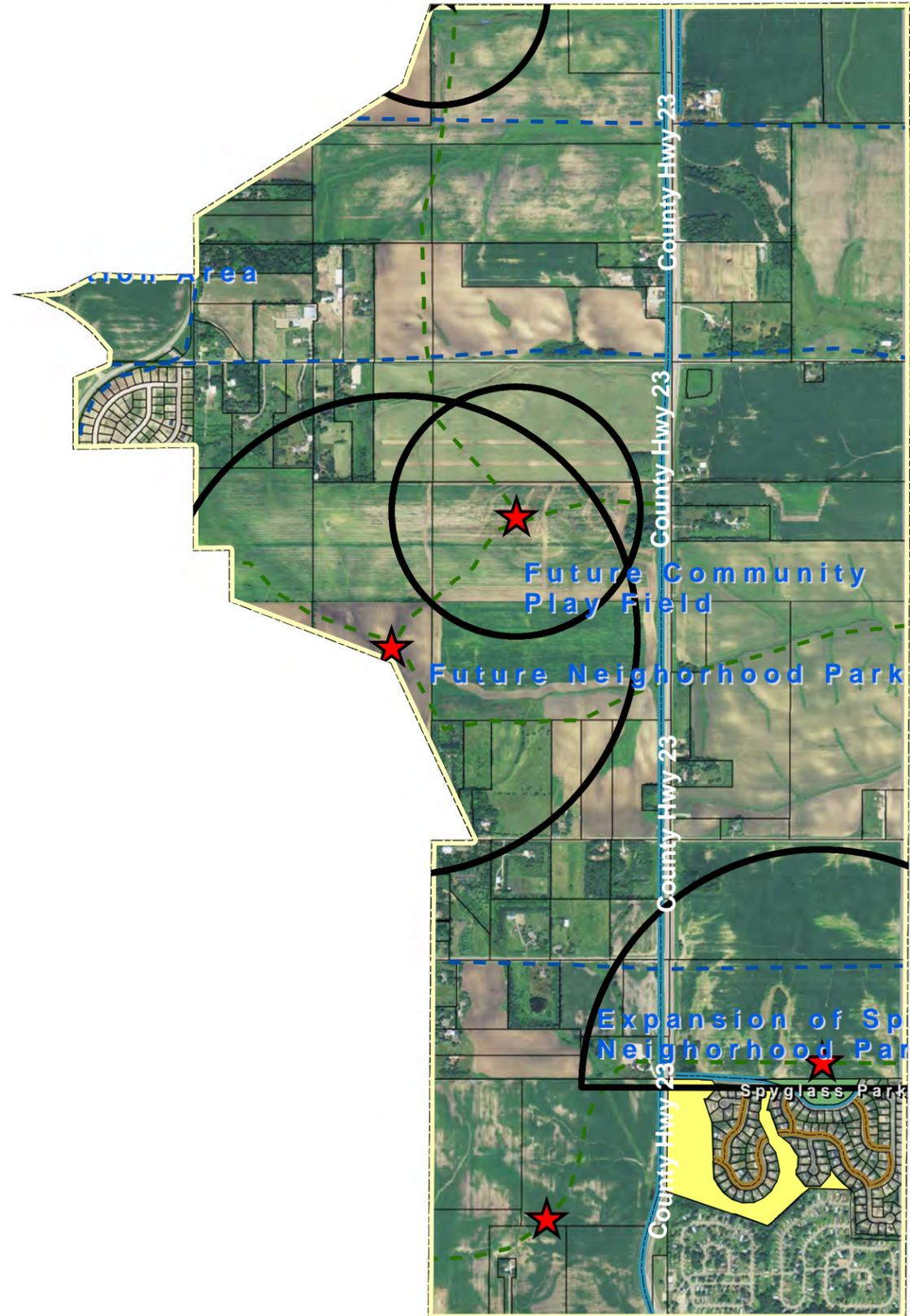
Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

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CEDAR CORRIDOR



**CITY OF LAKEVILLE
2014 PARKS, TRAILS
& OPEN SPACE PLAN**

MAP 27 - PLANNING DISTRICT 12

LEGEND

Existing Trails

- Greenway
- On-Street Trail
- Bike Lane
- Multi-purpose Trail
- Sidewalk

Proposed Trails

- Regional Corridor
- Community Greenway
- Transportation Corridor
- Linking Trail/Sidewalk

Park Classification

- Community Park
- Community Play Field/Athletic Complex
- Mini-Parks/Neighborhood Play Lot
- Neighborhood Park
- Conservation Area
- Special Use Area
- Park Expansion
- Planning District
- Proposed Park

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